

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN

FOR

MESA SUBSTATION

MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PA

CERTIFICATE OF OWNERSHIP ACKNOWLEDGMENT OF PLAN, AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED DAVID L. HAWTHORNE, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS DIRECTION, THAT HE ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN, THAT HE DESIRES THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

DAVID L. HAWTHORNE

NOTARY

MY COMMISSION EXPIRES _____, 20____.

LANDOWNER ACKNOWLEDGEMENT OF BMP'S

I, THE UNDERSIGNED, HEREBY REPRESENT THAT NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, OR ALTER ANY STORM WATER MANAGEMENT BMP'S, FACILITIES, AREAS, OR STRUCTURES WITHOUT THE WRITTEN APPROVAL OF MOUNT JOY TOWNSHIP. THE OPERATION AND MAINTENANCE AGREEMENT IS PART OF THE STORMWATER MANAGEMENT SITE PLAN.

DAVID L. HAWTHORNE

CERTIFICATION OF ACCURACY (PLAN)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

MARCH 30, 20____

Stu Gergely

STORM DRAINAGE PLAN CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE STORMWATER MANAGEMENT FACILITIES SHOWN AND DESCRIBED HEREON ARE DESIGNED IN CONFORMANCE WITH CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT, AND CHAPTER 113, STORMWATER MANAGEMENT.

MARCH 30, 20____

Stu Gergely

CERTIFICATION OF ACCURACY (SURVEY)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

20____

CARBONATE GEOLOGY CERTIFICATION

I, _____, HEREBY CERTIFY THAT THE PROPOSED STORMWATER FACILITIES ARE UNDERLAIN BY CARBONATE GEOLOGY.

20____

MOUNT JOY TOWNSHIP PLANNING COMMISSION FINAL PLAN REVIEW CERTIFICATE

AT A MEETING ON _____, 20____, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS WHICH ARE FILED WITH THE COMMISSION IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO. _____, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

CHAIRMAN OR THEIR DESIGNEE

VICE CHAIRMAN OR THEIR DESIGNEE

LANCASTER COUNTY PLANNING DEPARTMENT REVIEW CERTIFICATE

THIS PLAN, BEARING LCPC FILE NO. _____, WAS REVIEWED BY STAFF OF THE LANCASTER COUNTY PLANNING DEPARTMENT ON _____, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247, OF 1968, AS AMENDED. THIS CERTIFICATE DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT.

CHAIRPERSON OR THEIR DESIGNEE

MOUNT JOY TOWNSHIP SWM SITE PLAN APPROVAL CERTIFICATION

AT A MEETING ON _____, 20____, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, AND ALL CONDITIONS HAVE BEEN MET. THIS APPROVAL INCLUDES THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE TOWNSHIP IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO. _____, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 113, STORMWATER MANAGEMENT.

CHAIRMAN OR THEIR DESIGNEE

VICE CHAIRMAN OR THEIR DESIGNEE

CERTIFICATE OF OWNERSHIP ACKNOWLEDGMENT OF PLAN, AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF LANCASTER

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED DAVID L. HAWTHORNE, BEING _____ OF HAWTHORNE ELECTRIC, INC., WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THE CORPORATION IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE IS AUTHORIZED TO EXECUTE SAID PLAN ON BEHALF OF THE CORPORATION, THAT THE PLAN IS THE ACT AND DEED OF THE CORPORATION, THAT THE CORPORATION DESIRES THE SAME TO BE RECORDED AND ON BEHALF OF THE CORPORATION FURTHER ACKNOWLEDGES THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

DAVID L. HAWTHORNE

NOTARY

MY COMMISSION EXPIRES _____, 20____.

UTILITY LIST :

CABLE PROTECTION SERVICES INC
PO BOX 4816
MIDLOTHIAN, VA. 23112
DEBBIE KING
debbie.king@cableps.com
804-562-3409

AT&T
1100 3RD AVENUE
ALTOONA, PA. 16602
PAT SUTTON
ps4364@att.com
814-321-6470

USIC
9045 RIVER RD
STE 300
INDIANAPOLIS, IN. 46240-6400
RICKY COVINGTON
rickycovington@usicllc.com
317-671-3653

ELIZABETHTOWN AREA WATER AUTHORITY
211 W HUMMELSTOWN ST
ELIZABETHTOWN, PA. 17022
AUSTIN CALAMAN
acalamon@elawn-water.com
717-367-7448 EXT. 101

ELIZABETHTOWN REGIONAL SWR AUTHORITY
235 ERSB DR
ELIZABETHTOWN, PA. 17022
BROCK MILLER
brock@ersapa.com
717-367-5947

PENNSYLVANIA ELECTRIC CO
341 WHITE POND DRIVE
AKRON, OH. 44320
MELLYSSA ADAMS
madams@firstenergycorp.com
330-252-4013

MOUNT JOY TOWNSHIP LANCASTER COUNTY
ELIZABETHTOWN, PA. 17022
KEN EBERSOLE
KEN@MTJOYTP.ORG
717-673-2054

PPL ELECTRIC UTILITIES CORPORATION
4810 LYCOMING MALL
MONTGOMERYVILLE, PA. 17574
PAMELA SEITZER
pseitzer@pplweb.com
570-368-5394

UGI UTILITIES INC
1301 AIP DR
MIDDLETOWN, PA. 17057-5987
GEOFFREY FERGUSON
GFERGUSON@UGI.COM
610-807-3118

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MODIFICATIONS

MODIFICATIONS OF THE FOLLOWING SECTIONS OF THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE ARE BEING REQUESTED:

- § 119-25.(A) - PRELIMINARY PLAN APPLICATION
ACTION: APPROVED DATE MARCH 23, 2026
- § 119-52.J.(3)(a), 119-53.B(2), 119-53.C - IMPROVEMENT OF EXISTING STREETS, SIDEWALKS, CURBING (DEFERRAL)
ACTION: APPROVED DATE MARCH 23, 2026
- § 119-31.C.(3) - EXISTING FEATURES
ACTION: APPROVED DATE MARCH 23, 2026
- § 119-53.C.(2)(a) - CURB HEIGHT
ACTION: APPROVED DATE MARCH 23, 2026
- § 119-56.D - UTILITY EASEMENT WIDTH
ACTION: APPROVED DATE MARCH 23, 2026
- § 119-32.B - WETLAND STUDY
ACTION: APPROVED DATE MARCH 23, 2026
- § 119-32.C(2) & 119-32.C(6) - TRAFFIC IMPACT STUDY FEE IN LIEU & TRAFFIC STUDY
ACTION: APPROVED DATE MARCH 23, 2026
- § 119-53.C(1) - CURBING IN PARKING FACILITIES
ACTION: _____ DATE _____

MODIFICATIONS OF THE FOLLOWING SECTIONS OF THE MOUNT JOY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE ARE BEING REQUESTED:

- § 113-37.C.(1)(a)[4] - MINIMUM PIPE DIAMETER, VEHICULAR LOADING
ACTION: APPROVED DATE MARCH 23, 2026
- § 113-43.(5) - EXISTING FEATURES
ACTION: APPROVED DATE MARCH 23, 2026

SOIL LEGEND

THE SOIL TYPES PRESENT ON THE SITE ARE PER THE USDA WEB SOIL SURVEY FOR LANCASTER COUNTY, PA.

| SYMBOL - NAME (SLOPE) | HYDRO GROUP |
|---|-------------|
| *DuA - Duffield silt loam, 0 to 3% slopes | B |
| *HoA - Hagerstown silt loam, 3 to 8% slopes | B |
| *PRIME FARMLAND SOIL | B |

ANTICIPATED CONSTRUCTION SCHEDULE

BEGIN CONSTRUCTION SUMMER 2026
COMPLETE CONSTRUCTION SUMMER 2027

INSPECTION SCHEDULE

MOUNT JOY TOWNSHIP SHALL BE NOTIFIED A MINIMUM OF 24 HOURS IN ADVANCE OF THE FOLLOWING ACTIVITIES:

- UPON COMPLETION OF PRELIMINARY SITE PREPARATION INCLUDING STRIPPING OF VEGETATION, STOCKPILING OF TOPSOIL AND CONSTRUCTION OF TEMPORARY E&S DEVICES.
- UPON COMPLETION OF ROUGH GRADINGS, BUT PRIOR TO PLACING TOPSOIL, PERMANENT DRAINAGE, OR OTHER SITE DEVELOPMENT IMPROVEMENTS & GROUND COVERS.
- DURING THE CONSTRUCTION OF PERMANENT STORM WATER MANAGEMENT AND BMP FACILITIES.
- UPON THE FINAL COMPLETION OF PERMANENT STORM WATER MANAGEMENT AND BMP FACILITIES, INCLUDING THE ESTABLISHMENT OF GROUND COVERS AND PLANTINGS.
- AFTER REVIEW OF THE AS-BUILT DRAWINGS, BUT PRIOR TO FINAL RELEASE OF THE FINANCIAL SECURITY FOR COMPLETION OF FINAL GRADING, VEGETATIVE CONTROLS, REQUIRED BY THE BMP STANDARDS, OR OTHER SITE RESTORATION WORK.

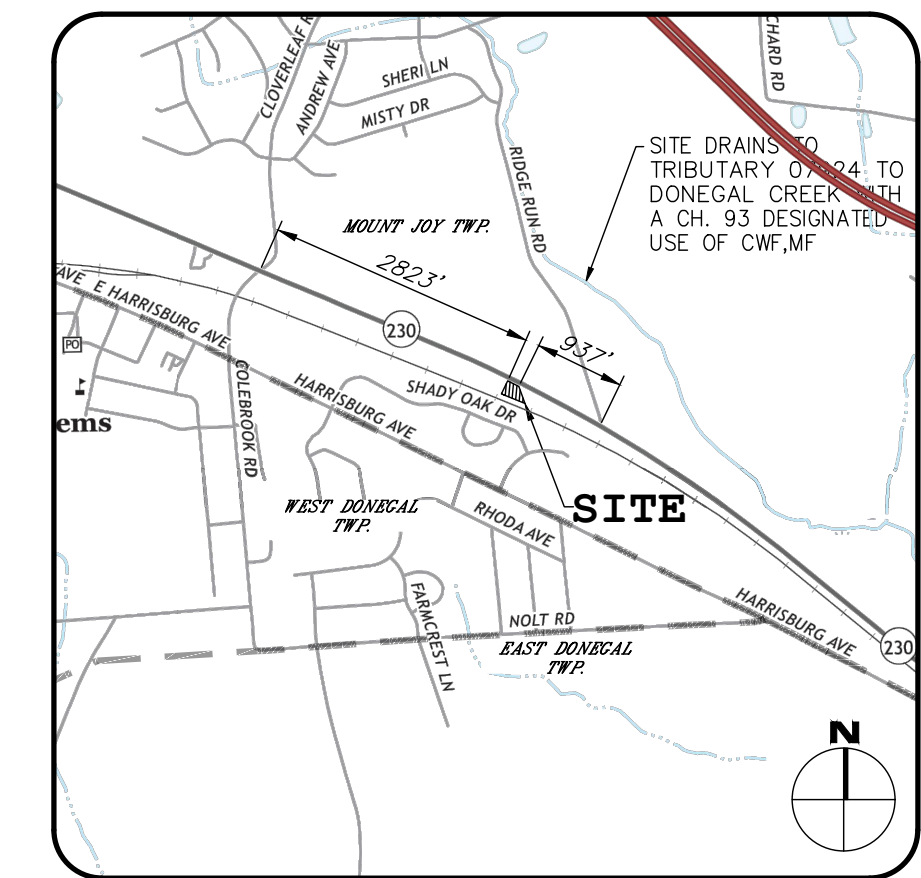
EXISTING PLANS AND AGREEMENTS

- A. FINAL PLAN FOR JOHN K. & ETHEL P. KREIDER, HENRY L. & EDNA F. KREIDER AND ROY J. & LOIS JEAN PETERMAN* PREPARED BY D.C. GOHN DATED MARCH 9, 1978, LAST REVISED AUGUST 11, 1978 AND RECORDED ON AUGUST 24, 1978 AS SUBDIVISION PLAN BOOK J-109, PAGE 15.
- PENNDOT HIGHWAY PLAN ENTITLED DRAWINGS FOR CONSTRUCTION AND CONDEMNATION OF RIGHT-OF-WAY, ROUTE NO. 129, SECTION NO. 3, STA. 174+77 TO STA. 370+78 APPROVED MAY 25, 1936.
- PER REFERENCE PLAN #1, THE PENNSYLVANIA POWER & LIGHT CO. (PP&L) RIGHT-OF-WAY AS STATED IN DEED BOOK 0, VOLUME 33, PAGE 237 DOES NOT SPECIFY A RIGHT-OF-WAY WIDTH. THE WIDTHS FOR EXISTING AND FUTURE PP&L FACILITIES WERE OBTAINED FROM PP&L OFFICIALS AT THE TIME OF THE PREPARATION OF REFERENCE PLAN #1.

I, STEVEN P. GERGELY, CERTIFY THAT THIS LIST IS COMPLETE AND CORRECT.

MARCH 30, 20____

Stu Gergely



LOCATION MAP

SCALE: 1"=2000'

ZONING DATA

| ZONING DISTRICT: | GENERAL COMMERCIAL DISTRICT (C2) |
|------------------------------|--|
| MIN. LOT SIZE: | 10,000 SF |
| MIN. LOT WIDTH: | 75 FT |
| MIN. LOT DEPTH: | 100 FT |
| MIN. FRONT YARD: | 35 FT (15 FT PARKING) |
| MIN. SIDE YARD: | 15 FT (BUILDING & PARKING) |
| MIN. REAR YARD: | 25 FT (15 FT PARKING) |
| MAX. BUILDING COVERAGE: | 50% |
| MAX. LOT COVERAGE: | 65% |
| MAX. BUILDING HEIGHT: | 40 FT |
| OFF-STREET PARKING: | 3 SPACES/4 EMPLOYEES ON TWO LARGEST SHIFTS |
| REQUIRED OFF-STREET PARKING: | - |
| PROVIDED OFF-STREET PARKING: | 9 |

NOTE: MUNICIPAL USES ARE EXEMPT FROM THE MINIMUM LOT WIDTH, LOT AREAS, LOT DEPTH, YARD SETBACKS, IMPERVIOUS SURFACE AREA, PARKING AND ALL OTHER REQUIREMENTS OF CHAPTER 135.

ZONING VARIANCES

THE FOLLOWING VARIANCES ARE BEING REQUESTED FOR 1892 WEST MAIN STREET (TAX PARCEL ID 461-63146-0-0000) AT THE MOUNT JOY TOWNSHIP ZONING HEARING BOARD.

- VARIANCE TO SECTION 135-135.F(2) - MAXIMUM LOT COVERAGE REQUIREMENTS.
ACTION: _____ DATE _____
- VARIANCE TO SECTION 135-135.E(2) - SIDE YARD PARKING LOT SETBACKS.
ACTION: _____ DATE _____
- VARIANCE TO SECTION 135-135.E(3)(b) - REAR YARD PARKING LOT SETBACKS.
ACTION: _____ DATE _____

SITE DATA

| EXISTING LAND USE: | PROPOSED LAND USE: | WEST MAIN STREET | 1892 WEST MAIN STREET |
|-----------------------------|-----------------------------------|--|-----------------------|
| VACANT | AMBULANCE STATION (MUNICIPAL USE) | VACANT | ELECTRICAL CONTRACTOR |
| TOTAL LOT AREA: | 28,138 SF (0.645 ACRES) | 33,896 SF (31,746 SF NET) 0.778 AC (0.728 AC NET) | |
| TOTAL NUMBER OF LOTS: | 1 | 1 | |
| UNITS OF OCCUPANCY: | 1 | 1 | |
| DENSITY: | 1.55 UNITS/ACRE | 1.38 UNITS/ACRE | |
| EXISTING BUILDING COVERAGE: | 2.7%± (771 SF / 28,138 SF) | 18.6%± (5,916 SF / 31,746 SF) | |
| PROPOSED BUILDING COVERAGE: | 14.4%± (4,048 SF / 28,138 SF) | 18.6%± (5,916 SF / 31,746 SF) | |
| EXISTING LOT COVERAGE: | 8.3%± (2,348 SF / 28,138 SF) | 85.4%± (27,113 SF / 31,746 SF) | |
| PROPOSED LOT COVERAGE: | 35.9%± (10,090 SF / 28,138 SF) | 88.6%± (28,128 SF / 31,746 SF) | |
| PROPOSED WATER SERVICE: | ON-LOT WELL | ON-LOT WELL | |
| PROPOSED SEWER SERVICE: | PUBLIC | PUBLIC | |

OWNER OF RECORD / SOURCE OF TITLE

PROPERTY ADDRESS: WEST MAIN STREET (NO ADDRESS GIVEN)

DAVID L. HAWTHORNE
4750 BOSSLER ROAD, ELIZABETHTOWN, PA 17022
TAX ACCOUNT NO.: 461-82955-0-0000
DOCUMENT ID: 6292886
PLAN REFERENCE: J-109-15, LOT 1

PROPERTY ADDRESS: 1892 WEST MAIN STREET
HAWTHORNE ELECTRIC INC
1892 WEST MAIN STREET, MOUNT JOY, PA 17552
TAX ACCOUNT NO.: 461-63146-0-0000
DOCUMENT ID: 05412647

ONE - CALL SYSTEM



Pennsylvania Act 287 (1974)
Amended by Act 50 (2017)
requires 3 working days notice from excavators who are about to Dig, Blast, Auger, Bore, Grade, Trench or Demolish anywhere in the Commonwealth.
Contractor Shall Place A One-Call (1-800-242-1776) Prior to Construction.

SERIAL NO.: 20253250048



| NO | BY | DATE | REVISION |
|----|-----|------------|---|
| 1 | ENG | 03/10/2026 | PER TWP. ENGINEER REVIEW COMMENTS |
| 2 | ENG | 03/10/2026 | PER TWP. ENGINEER & AUTHORITY REVIEW COMMENTS |

CLIENT
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
C/O L. MARC HERSHEY
380 W. BAINBRIDGE STREET
ELIZABETHTOWN PA 17022
717-361-8220

PROJECT TITLE
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

SHEET TITLE
COVER SHEET
AS NOTED

| | |
|------------------------|-------------|
| SEAL | |
| DRAWN BY: | CHECKED BY: |
| BRK | SPG |
| DATE: FEBRUARY 9, 2026 | |
| PROJECT NO.: | 251195-001 |
| SHEET: | 1 OF 11 |

NOTES:

SURVEY NOTES:

- 1. THE BOUNDARY SURVEY AND TOPOGRAPHIC SURVEY IS BASED ON A SURVEY EXECUTED BY TRIMBLE SURVEYORS, LLC (250 S. SPRUCE STREET, LITIZ PA 17543, PHONE: 717-626-0028) PERFORMED IN NOVEMBER AND DECEMBER, 2025. ADDITIONAL SITE FEATURES AND TOPOGRAPHY TAKEN FROM LANCASTER COUNTY GIS DATA, UDAR DATA, AND FIELD OBSERVATION.
2. THIS PROPERTY WAS SURVEYED USING THE CURRENT DEED OR DEEDS OF RECORDS AND WITHOUT THE BENEFIT OF A TITLE SEARCH.
3. SITE BENCHMARK: MAG NAIL WEST OF THE NORTHWEST CORNER OF THE SUBJECT PROPERTY, 20' SOUTH OF THE WHITE LINE FOR THE EAST BOUND LANE OF ROUTE 230 AND 58.5 FEET WEST OF PPL POLE #33428 S299173. E18.32 DATUM: NAVD 1988
4. HORIZONTAL DATUM IS NORTH AMERICAN DATUM 1983 (NAD83) STATE PLANE COORDINATES (SOUTH ZONE).
5. UNDERGROUND UTILITIES ARE LOCATED AND WERE DETERMINED FROM USING THE UTILITY LOCATION PA ONE CALL UTILITY MARKINGS AND THE BEST AVAILABLE PLAN INFORMATION. THE LOCATIONS ARE APPROXIMATE AND MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION, EXCAVATION OR BLASTING. TRIMBLE SURVEYORS, LLC ASSUMES NO RESPONSIBILITY FOR ANY DAMAGES INCURRED AS A RESULT OF THE UTILITIES OMITTED OR INACCURATELY SHOWN. THREE MANHOLES ARE LOCATED ON THE WESTERN ADJOINING PROPERTY NEAR THE RAILROAD TRACKS. THE MANHOLES APPEAR TO BE RELATED TO AN UNDERGROUND SEPTIC SYSTEM. HOWEVER NO VISIBLE EVIDENCE IS PRESENT TO DETERMINE THE EXTENT OR LOCATION OF POSSIBLE UNDERGROUND FACILITIES OR STRUCTURES RELATED TO THE MANHOLES.

GEOGRAPHIC INFORMATION SYSTEM NOTE:

- 7. PORTIONS OF THE TOPOGRAPHIC AND PLANIMETRIC FEATURES WERE TAKEN FROM THE LANCASTER COUNTY GIS DEPARTMENT AND THE PENNSYLVANIA SPATIAL DATA ACCESS (PASDA) DATA ACQUIRED FOR THIS PROJECT AND FIELD OBSERVATION. THE FOLLOWING TEXT IS TAKEN FROM THE LANCASTER COUNTY GIS DISCLAIMER: THIS DRAWING WAS PREPARED FOR THE USE OF THE LANCASTER COUNTY GEOGRAPHIC INFORMATION SYSTEMS (GIS) DEPARTMENT AND IS INTENDED TO BE USED FOR REFERENCE AND ILLUSTRATIVE PURPOSES ONLY. THIS DRAWING IS NOT A LEGALLY RECORDED PLAN, SURVEY, OFFICIAL TAX MAP OR ENGINEERING SCHEMATIC AND IT IS NOT INTENDED TO BE USED AS SUCH. THIS DRAWING IS A COMPILATION OF RECORDS, INFORMATION AND DATA DEVELOPED AND MAINTAINED BY VARIOUS LANCASTER COUNTY OFFICES; MANY LAYERS WERE CREATED FROM DIFFERENT SOURCES AND DIFFERENT SCALES. THE ACTUAL OR RELATIVE GEOGRAPHIC POSITION OF ANY FEATURE IS ONLY AS ACCURATE AS THE SOURCE INFORMATION. IF YOU HAVE QUESTIONS ABOUT ANY OF THE DATA SHOWN ON THIS MAP, DIRECT THEM TO THE LANCASTER COUNTY GEOGRAPHIC INFORMATION SYSTEM (GIS) DEPARTMENT AT (717) 391-7550.

GENERAL AND MUNICIPAL NOTES:

- 1. ANY CHANGES TO THIS PLAN AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF HARBOR ENGINEERING, INC.
2. ALL EASEMENTS SHALL BE KEPT FREE OF STRUCTURES, FILL AND OTHER ENCROACHMENTS THAT MAY ADVERSELY AFFECT THE EASEMENT.
3. MOUNT JOY TOWNSHIP SHALL BE NOTIFIED IN THE EVENT SINKHOLES ARE ENCOUNTERED DURING CONSTRUCTION. THE SERVICES OF A REGISTERED ENGINEER OR GEOLOGIST SHALL BE OBTAINED TO ASSIST IN RECOMMENDING CONSTRUCTION TECHNIQUES AND PERMANENT FACILITIES NECESSARY TO AVOID FURTHER SINKHOLE CREATION AND WITH REGARD TO THE REPAIR OF ANY EXISTING SINKHOLES.
4. MOUNT JOY TOWNSHIP IS NOT RESPONSIBLE FOR CONSTRUCTION OR MAINTENANCE OF ANY AREA, PARK, IMPROVEMENT, PLANTINGS, STREET OR ALLEY NOT DEDICATED AND ACCEPTED FOR PUBLIC USE.
5. NO AREAS ARE BEING DEDICATED TO MOUNT JOY TOWNSHIP.
6. ALL IMPROVEMENTS SHALL MEET THE REQUIREMENTS OF THE MOUNT JOY TOWNSHIP IMPROVEMENTS SPECIFICATIONS MANUED IN EFFECT AT THE TIME OF CONSTRUCTION.
7. THE FLAGGING OF SHULDS OR OTHER ARE PROHIBITED WITHIN THE CLEAR SIGHT TRIANGLE THAT EXCEED A HEIGHT OF 30 INCHES AND ANY TREE LIMBS EXTENDING INTO THE CLEAR SIGHT TRIANGLE MUST BE LIMBED TO A HEIGHT GREATER THAN 8 FEET.
8. FOR ANY FIELD REVISIONS OR DEVIATIONS FOR THE APPROVED PLANS, THE APPLICANT MUST OBTAIN APPROVAL FROM MOUNT JOY TOWNSHIP PRIOR TO PROCEEDING WITH SUCH REVISION(S).
9. ALL MONUMENTS AND LOT MARKERS TO BE SET SHALL BE INSTALLED UPON COMPLETION OF FINAL GRADING AND SHALL MEET THE REQUIREMENTS OF THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE SECTION 119-57. THE TOP SURFACE OF ALL CONCRETE LOT MARKERS SHALL BE AT LEAST 4 INCHES IN DIAMETER OR FOUR (4) INCHES AND A MINIMUM LENGTH OF THIRTY (30) INCHES AND BE MARKED ON THE TOP WITH A COPPER OR BRASS DISC WITH PUNCH MARK AND PROPER INSCRIPTION OF SURVEYOR. LOT MARKERS SHALL CONSIST OF IRON PIPES OR STEEL BARS AT LEAST THIRTY (30) INCHES LONG AND NOT LESS THAN THREE-QUARTERS (3/4) OF AN INCH IN DIAMETER AND FROST-PROOF.

WETLAND NOTE:

- 1. BASED UPON INFORMATION ON THE NATIONAL WETLANDS INVENTORY WEBSITE, THERE ARE NO WETLANDS LOCATED ON THE SUBJECT PROPERTY.

FLOOD PLAIN NOTE:

- 1. THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD PLAIN ACCORDING TO FEMA FLOOD INSURANCE RATE MAP #42071C018F DATED APRIL 5, 2016.

CONTRACTOR NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR THE CONSTRUCTION AND DEMOLITION PROPOSED TO BE USED FOR REFERENCE AND ILLUSTRATIVE PURPOSES ONLY. THIS DRAWING IS NOT A LEGALLY RECORDED PLAN, SURVEY, OFFICIAL TAX MAP OR ENGINEERING SCHEMATIC AND IT IS NOT INTENDED TO BE USED AS SUCH. THIS DRAWING IS A COMPILATION OF RECORDS, INFORMATION AND DATA DEVELOPED AND MAINTAINED BY VARIOUS LANCASTER COUNTY OFFICES; MANY LAYERS WERE CREATED FROM DIFFERENT SOURCES AND DIFFERENT SCALES. THE ACTUAL OR RELATIVE GEOGRAPHIC POSITION OF ANY FEATURE IS ONLY AS ACCURATE AS THE SOURCE INFORMATION. IF YOU HAVE QUESTIONS ABOUT ANY OF THE DATA SHOWN ON THIS MAP, DIRECT THEM TO THE LANCASTER COUNTY GEOGRAPHIC INFORMATION SYSTEM (GIS) DEPARTMENT AT (717) 391-7550.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED OR DESTROYED EXISTING SITE FEATURES THAT ARE TO REMAIN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRENCH BARRICADING, COVERING, SHEETING AND SHORING IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
4. ALL UNDERGROUND UTILITY LOCATIONS SHOWN ON THIS PLAN ARE FROM FIELD LOCATION, PLANS OF RECORD, AND PLANS PROVIDED BY UTILITY COMPANIES AND ARE APPROXIMATE ONLY. ALL UTILITY LOCATIONS MUST BE VERIFIED BY THE INDIVIDUAL UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE DONE DUE TO THE CONTRACTOR'S NEGLIGENCE SHALL BE IMMEDIATELY AND COMPLETELY REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR SHALL LEGALLY DISPOSE OF ALL UNDERGROUND AND ABOVEGROUND STRUCTURES, FEATURES, AND MATERIALS AS REQUIRED FOR THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.
7. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
8. THE CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE EXTENSIONS/TERMINATIONS WITH THE RESPECTIVE UTILITY OWNERS.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL FIELD TESTING AND "RECORD DRAWINGS" AS REQUIRED BY THE VARIOUS AUTHORITY REQUIREMENTS.

SANITARY SEWER NOTES:

- 1. ALL SANITARY SEWER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST REVISION OF ELIZABETHTOWN REGIONAL SEWER AUTHORITY SPECIFICATIONS AT THE TIME OF FINAL PLAN APPROVAL BY THE AUTHORITY. ALL DEVIATIONS FROM AUTHORITY SPECIFICATIONS SHALL REQUIRE APPROVAL BY THE AUTHORITY PRIOR TO CONSTRUCTION.
2. SHOP DRAWINGS MUST BE SUBMITTED, REVIEWED AND APPROVED PRIOR TO THE START OF CONSTRUCTION.
3. PRIOR TO THE START OF CONSTRUCTION, A CONSTRUCTION COST OPINION FOR THE ITEMS WITHIN THE PUBLIC RIGHT OF WAY MUST BE PROVIDED TO ESTABLISH FINANCIAL SECURITY.
4. PRIOR TO THE START OF CONSTRUCTION, A CONSTRUCTION SCHEDULE MUST BE PROVIDED TO ESTABLISH THE AMOUNT OF THE CONSTRUCTION ESCROW.
5. A PRECONSTRUCTION CONFERENCE MUST BE HELD PRIOR TO THE START OF CONSTRUCTION.
6. TESTING OF ALL SANITARY SEWER IMPROVEMENTS MUST BE PERFORMED IN THE PRESENCE OF THE AUTHORITY AND IN ACCORDANCE WITH THE AUTHORITY'S SPECIFICATIONS.
7. THE AUTHORITY REQUIRES A MINIMUM OF 24-HOUR NOTICE PRIOR TO INSPECTION OF SANITARY SEWER SYSTEM CONSTRUCTION.
8. AS-BUILT DOCUMENTS MUST BE PROVIDED TO THE AUTHORITY AT THE COMPLETION OF CONSTRUCTION.
9. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ADVANCE OF CONSTRUCTION TO INCLUDE REQUESTING THE UTILITIES TO BE LOCATED IN ACCORDANCE WITH PENNSYLVANIA ONE CALL ACT NO. 287 AND COOPERATE WITH AGENTS OF THESE COMPANIES DURING THE PROGRESS OF THE WORK.

STORMWATER MANAGEMENT NOTES:

- 1. NEITHER THE OPERATION OR COMPLETION OF ANY IMPROVEMENTS BY THE DEVELOPER SHALL OBLIGATE THE TOWNSHIP TO ACCEPT ANY LAND OR IMPROVEMENTS. ACCEPTANCE OF AN OFFER OF DEDICATION IS A MATTER OF DISCRETION WITH THE TOWNSHIP. UNLESS AND UNTIL THE TOWNSHIP TAKES FORMAL ACTION TO ACCEPT AN OFFER OF DEDICATION, THE TOWNSHIP SHALL HAVE NO OBLIGATION TO MAINTAIN, REPAIR, CONSTRUCT OR RECONSTRUCT SUCH LAND OR IMPROVEMENTS, AND THE LAND AND IMPROVEMENTS SHALL BE DEEMED TO BE PRIVATE.
2. NO AREAS OR FACILITIES ARE BEING OFFERED FOR DEDICATION TO PUBLIC USE.
3. A STORMWATER EASEMENT IS PROPOSED FOR THE STORMWATER MANAGEMENT FACILITY AND TO PROVIDE THE TOWNSHIP WITH ACCESS TO THE FACILITY FROM THE STREET RIGHT-OF-WAY.
4. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT. NO ALTERATIONS TO SWALES, BASINS, BMPs, OR OTHER STORMWATER MANAGEMENT FACILITIES THAT ADVERSELY AFFECT THE FLOW OF STORMWATER SHALL BE PERMITTED.
5. MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES NOT LOCATED WITHIN PUBLIC RIGHTS-OF-WAY SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNER. STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN DESIGN CONDITION AND FREE OF FILL AND OTHER OBSTRUCTIONS.
6. MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES SHALL BE PER THE O&M PLAN NOTES ON SHEET 2, AND PER THE STORMWATER AGREEMENT WITH THE TOWNSHIP.
7. THE STORMWATER MANAGEMENT AGREEMENT AND DECLARATION OF EASEMENT RECORDED AS PART OF THIS PLAN FURTHER INDICATES THE REQUIRED RESPONSIBILITIES OF OWNERSHIP AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES.
8. THE OWNERS AND OCCUPANTS OF THE HEREON SHOWN LOT SHALL OWN AND MAINTAIN THE STORMWATER MANAGEMENT FACILITIES SHOWN AND CONSTRUCTED ON THE PROPERTY. THE MUNICIPALITY SHALL HAVE THE RIGHT TO:
- REPRESENTATIVES OF THE TOWNSHIP MAY ENTER, AT REASONABLE TIMES, UPON ANY PROPERTY, WITHIN THE TOWNSHIP TO INVESTIGATE OR ASCERTAIN THE CONDITION OF THE SUBJECT PROPERTY IN REGARD TO ANY ASPECT REGULATED BY THE STORMWATER ORDINANCE.
- REQUIRE THE OWNER/OCCUPANT TO TAKE CORRECTIVE MEASURES AND ASSIGN A REASONABLE TIME PERIOD FOR SUCH ACTIONS TO BE TAKEN.
- AUTHORIZE MAINTENANCE TO BE DONE AND LIEN ALL COST OF THE WORK AGAINST THE PROPERTY OF THE ENTITY RESPONSIBLE FOR MAINTENANCE.
- IF THE TOWNSHIP DETERMINES, AT ANY TIME, THAT ANY PERMANENT STORMWATER MANAGEMENT FACILITY HAS BEEN ELIMINATED, ALTERED OR IMPROPERLY MAINTAINED, THE LANDOWNER OF THE LOT SHALL BE ADVISED OF THE CORRECTIVE MEASURES REQUIRED AND GIVEN A REASONABLE PERIOD OF TIME, WITHIN WHICH TO TAKE SUCH CORRECTIVE ACTION. IF SUCH CORRECTIVE ACTION IS NOT TAKEN BY THE LANDOWNER, THE TOWNSHIP MAY CAUSE THE WORK TO BE DONE AND SHALL TAKE THE APPROPRIATE ACTION TO FILE A MUNICIPAL CLAIM PURSUANT TO THE PA MUNICIPAL CLAIMS AND TAX LIENS ACT, ACT 1923, MAY 16, P.L. 207, AS AMENDED AND SUPPLEMENTED, AS A LIEN UPON THE REAL PROPERTY UPON WHICH THE WORK WAS DONE.
9. REPRESENTATIVES OF THE TOWNSHIP MAY ENTER, AT REASONABLE TIMES, UPON ANY PROPERTY, WITHIN THE TOWNSHIP, TO INVESTIGATE OR ASCERTAIN THE CONDITION OF THE SUBJECT PROPERTY IN REGARDS TO ANY ASPECT REGULATED BY THE TOWNSHIP ORDINANCES.
10. CONSTRUCTION OF STORMWATER MANAGEMENT AND EROSION CONTROL FACILITIES SHALL BE IN ACCORDANCE WITH THE CURRENT MOUNT JOY TOWNSHIP AND LANCASTER COUNTY CONSERVATION DISTRICT STANDARDS AND SPECIFICATIONS UNLESS A MODIFICATION HAS BEEN APPROVED.

- 11. THE STORMWATER MANAGEMENT FACILITIES HAVE BEEN DESIGNED FOR IMPERVIOUS AREAS AS SHOWN ON THE PLANS AND ADDITIONAL FUTURE IMPERVIOUS AREA AS NOTED IN THE SITE DATA CHART ON THE COVER SHEET 1 AND THE PCSM PLAN AND BMP DATA TABLE ON SHEET 2.
12. THE IMPERVIOUS SURFACES SHOWN REPRESENT THE MAXIMUM EXPECTED COVERAGE. ANY ADDITIONAL IMPERVIOUS COVER BEYOND THE AMOUNT APPROVED BY THE TOWNSHIP WILL REQUIRE THE OWNER TO IMPLEMENT ADDITIONAL STORMWATER MANAGEMENT CONTROLS IN ACCORDANCE WITH THE MOUNT JOY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE REQUIREMENTS.
13. A REVISION WHICH INVOLVES A CHANGE IN STORMWATER MANAGEMENT CONTROL METHODS OR TECHNIQUES, OR WHICH INVOLVES THE RELOCATION OR REDESIGN OF CONTROL MEASURES, OR WHICH IS NECESSARY BECAUSE SOIL OR OTHER CONDITIONS ARE NOT AS STATED ON THE APPROVED PLAN, SHALL REQUIRE A RESUBMISSION BY THE APPLICANT IN ACCORDANCE WITH THE PLAN REQUIREMENTS AS SET FORTH IN THE MOUNT JOY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.
14. THE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE NOT LOCATED WITHIN OR AFFECT THE FLOODPLAIN OF ANY WATERCOURSE.
15. SHOULD ANY SINKHOLES, CLOSED DEPRESSIONS, DISAPPEARING STREAMS, LINEAMENTS, FRACTURE TRACES, SURFACE PINNACLES OR SUBSURFACE PINNACLES BE ENCOUNTERED DURING CONSTRUCTION, THE DESIGN CONSULTANT, A PROFESSIONAL GEOLOGIST OR GEOTECHNICAL ENGINEER, AND THE TOWNSHIP SHALL BE CONTACTED TO DISCUSS POTENTIAL DESIGN CHANGES.
16. PRIOR TO THE FINAL RELEASE OF ANY FINANCIAL SECURITIES, THE DEVELOPER SHALL BE RESPONSIBLE FOR COMPLETING A "RECORD SURVEY" OF ALL STORMWATER MANAGEMENT FACILITIES INCLUDED IN THE APPROVED STORMWATER MANAGEMENT PLAN, INCLUDING A CD WITH AUTOCAD DATA AND 2 COMPLETE SETS OF AS-BUILT DRAWINGS AT A SCALE OF 40' TO THE INCH SHOWING ALL REQUIRED IMPROVEMENTS FOR REVIEW AND APPROVAL BY THE TOWNSHIP ENGINEER. THE RECORD SURVEY AND AN EXPLANATION OF ANY DISCREPANCIES WITH THE DESIGN PLANS SHALL BE SUBMITTED TO THE TOWNSHIP OR ITS DESIGNEE FOR FINAL APPROVAL. THE RECORD PLAN SHALL INCLUDE A FINAL CERTIFICATION AS REQUIRED BY CHAPTER 113, FROM AN ENGINEER, LANDSCAPE ARCHITECT, SURVEYOR, OR OTHER QUALIFIED PERSON REGISTERED IN THE COMMONWEALTH OF PENNSYLVANIA.
17. AN AS-BUILT PLAN MEETING ALL OF THE REQUIREMENTS OF SECTION 113 OF THE MOUNT JOY TOWNSHIP STORMWATER MANAGEMENT ORDINANCE MUST BE SUBMITTED PRIOR TO FINAL APPROVAL OF THE INSTALLED IMPROVEMENTS. FOLLOWING EXCAVATION OF THE INFILTRATION BED, THE INFILTRATION RATE WITHIN THE BED IS TO BE TESTED. THE AS-BUILT PLAN SUBMISSION NEEDS TO INCLUDE THE RESULTS OF THE POST-CONSTRUCTION INFILTRATION TESTING.
18. THE DESIGN ENGINEER & MOUNT JOY TOWNSHIP SHALL BE IMMEDIATELY NOTIFIED IF UNSUITABLE SOILS OR OTHER PROHIBITIVE SUBSURFACE CONDITIONS ARE ENCOUNTERED FOR THE STORMWATER SYSTEMS DURING CONSTRUCTION.
19. SHOULD ANY UNPREESEN CONDITIONS ARISE DURING EXCAVATION OF INFILTRATION FACILITIES (ROCK, ETC.) THE TOWNSHIP AND DESIGN PROFESSIONAL SHALL BE NOTIFIED. OVER EXCAVATION AND ENGINEERED BACKFILL MAY BE REQUIRED.
20. AREAS PROPOSED FOR INFILTRATION BMPs SHALL BE PROTECTED FROM SEDIMENTATION AND COMPACTION DURING THE CONSTRUCTION PHASE TO MAINTAIN MAXIMUM INFILTRATION CAPACITY. STAGING OF EARTHMOVING ACTIVITIES AND SELECTION OF CONSTRUCTION EQUIPMENT SHOULD CONSIDER THIS PROTECTION.
21. THERE ARE NO KNOWN RECORDED STORMWATER MANAGEMENT AGREEMENTS AFFECTING THE SUBJECT PROPERTIES.
22. FOLLOWING APPROVAL OF THE AS-BUILT PLAN BY THE TOWNSHIP ENGINEER, THE APPLICANT SHALL SUBMIT THE SWM SITE PLAN FOR RECORDATION IN THE OFFICE OF THE RECORDER OF DEEDS.
23. THE TOWNSHIP SHALL HAVE THE RIGHT OF ENTRY FOR THE PURPOSES OF INSPECTING ALL STORMWATER CONVEYANCE, TREATMENT, OR STORAGE FACILITIES.

GEOLOGY NOTES:

- 1. A STORMWATER FEASIBILITY AND GEOLOGY STUDY WAS COMPLETED BY HRG ENGINEERING DATED FEBRUARY 9, 2026. THE STUDY INCLUDES THE INFILTRATION TESTING PERFORMED ON SITE AND A SUMMARY OF THE SITE'S SUITABILITY FOR INFILTRATING STORMWATER.
2. IF ANY BEDROCK OR SOIL FEATURES NOT CONSISTENT WITH THIS REPORT ARE OBSERVED DURING CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES, OR FOOTINGS, ALL WORK SHOULD STOP AND A GEOLOGIST OR GEOTECHNICAL ENGINEER SHOULD BE CONSULTED PRIOR TO CONTINUING WORK.
3. THE SITE IS LOCATED ON THE STONEHENGE FORMATION, WHICH IS A CARBONATE FORMATION PRONE TO KARST TYPE FEATURES THAT TYPICALLY OCCUR IN A CARBONATE ENVIRONMENT.
4. IF ROCK IS ENCOUNTERED DURING EXCAVATION OF THE INFILTRATION FACILITY THE FOLLOWING NOTES APPLY:
4.1. SHALLOW ROCK PINNACLES ARE IN-PLACE ROCK THAT IS NOT RIPRAPABLE WITH CONVENTIONAL EQUIPMENT. IF SHALLOW ROCK PINNACLES ARE ENCOUNTERED THE ROCK WILL BE REMOVED, SILT LOAM FROM THE SITE, OR SILT LOAM SIMILAR TO NATIVE SOILS, WILL BE INSTALLED TO A DEPTH OF NOT LESS THAN 2 FOOT BELOW THE BED BOTTOM. PRIOR TO INSTALLING THE SILT LOAM THE ROCK SURFACE SHOULD BE PREPARED BY COVERING WITH NOT LESS THAN 8 INCHES OF 1/2" INCH CLEAN STONE AND OVERLAIN WITH A NON-WOVEN GEOTEXTILE. THE SUBGRADE SHOULD BE INSPECTED BY A GEOLOGIST OR GEOTECHNICAL ENGINEER PRIOR TO INSTALLING THE GEOTEXTILE.
4.2. WEATHERED ROCK STRATA IS ROCK THAT IS RIPRAPABLE WITH CONVENTIONAL EQUIPMENT, AND NOT ATTACHED TO A MORE MASSIVE ROCK STRUCTURE. IF WEATHERED ROCK STRATA WITH VOIDS IS ENCOUNTERED, THE STRATA SHOULD BE FILLED WITH A SUITABLE SIZE AGGREGATE TO FILL AND BRIDGE THE VOID. REVERSE GRADED, LARGER TO SMALLER, AGGREGATE SHOULD THEN BE USED TO FILL THE AREA ABOVE THE VOID TO 2 FEET BELOW THE PROPOSED BED BOTTOM. A GEOLOGIST OR GEOTECHNICAL ENGINEER SHOULD DETERMINE THE SIZE AND THICKNESS OF THE AGGREGATE LAYERS BASED ON THE SIZE OF THE VOID. A NON-WOVEN GEOTEXTILE SHOULD THEN BE PLACED OVER THE AGGREGATE, AND 2 FEET OF SILT LOAM FROM THE SITE, OR SILT LOAM SIMILAR TO NATIVE SOILS, WILL BE INSTALLED TO A DEPTH OF NOT LESS THAN 2 FOOT BELOW THE BED BOTTOM.
5. IF ANY CARBONATE FEATURES SUCH AS SINKHOLES, DISAPPEARING STREAMS, LOOSE OR RAVELED SOILS (A.K.A. SOILS THAT ARE LOOSE AND/OR UNCOMPACT), OR OTHER DELETERIOUS CONDITIONS ARE OBSERVED DURING CONSTRUCTION OF STORMWATER MANAGEMENT FACILITIES, OR BUILDING FOOTINGS, ALL WORK SHOULD STOP AND A GEOLOGIST OR GEOTECHNICAL ENGINEER SHOULD BE CONSULTED PRIOR TO CONTINUING WORK.

NOTE: IF SILT LOAM FROM THE SITE IS NOT AVAILABLE A MIXTURE OF 50% SAND AND 50% SILT WILL BE USED AS THE 2 FT SOIL BACKFILL BELOW THE CLEAN STONE INFILTRATION BED.

OPERATION AND MAINTENANCE PLAN NOTES:

A. MAINTENANCE RESPONSIBILITY:

- 1. THE LAND OWNER, SUCCESSOR AND ASSIGNS SHALL INSPECT, OPERATE AND MAINTAIN THE STORM WATER MANAGEMENT FACILITIES (BMPs). THE PLAN SHOWS THE LOCATION OF THE BMPs. BMPs SHALL BE CONSTRUCTED ON THE PROPERTY IN GOOD WORKING ORDER AS OUTLINED IN THIS OPERATION AND MAINTENANCE PLAN AND THE STORMWATER MANAGEMENT AGREEMENT.
2. THE TOWNSHIP, ITS AUTHORIZED AGENTS AND EMPLOYEES SHALL HAVE PERMISSION TO ACCESS THE PROPERTY, AT REASONABLE TIMES AND UPON PRESENTATION OF PROPER CREDENTIALS, TO INSPECT SWM FACILITIES WHENEVER NECESSARY. WHENEVER POSSIBLE, THE MUNICIPALITY SHALL NOTIFY THE LANDOWNER PRIOR TO ENTERING THE PROPERTY.
3. THE LAND OWNER SHALL KEEP ON FILE WITH THE TOWNSHIP THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE PERSON OR COMPANY RESPONSIBLE FOR MAINTENANCE ACTIVITIES. IN THE EVENT OF A CHANGE, NEW INFORMATION IS TO BE SUBMITTED TO THE BOROUGH WITHIN 10 DAYS OF THE CHANGE.
4. THE STORMWATER MANAGEMENT FACILITIES, AND BMPs SHOWN ON THIS PLAN ARE PERMANENT FIXTURES THAT CANNOT BE ALTERED OR REMOVED UNLESS A REVISED PLAN IS APPROVED BY THE TOWNSHIP.
5. THE LANDOWNER ACKNOWLEDGES THAT, PER THE PROVISIONS OF THE MUNICIPALITY'S STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.
6. THE RECORD OWNER OF THE DEVELOPMENT SITE SHALL SIGN AND RECORD AN OPERATION AND MAINTENANCE (O&M) AGREEMENT COVERING ALL STORMWATER MANAGEMENT FACILITIES WHICH ARE TO BE PRIVATELY OWNED. THE O&M PLAN AND AGREEMENT SHALL BE RECORDED AS A RESTRICTIVE COVENANT AGREEMENT THAT RUNS WITH THE LAND AS PART OF THIS PLAN.
7. THE LANDOWNER SHALL WORK TO REMEDY ANY DEFICIENCIES OF STORMWATER BMPs THAT ARE FOUND DURING THEIR INSPECTIONS WITHIN A REASONABLE TIME FRAME DEPENDING ON THE GROWING SEASON AND TIME OF THE YEAR.
8. IN THE EVENT THE LANDOWNER FAILS TO OPERATE AND MAINTAIN THE STORMWATER FACILITIES, THE TOWNSHIP AND ITS REPRESENTATIVES MAY ENTER UPON THE PROPERTY AND TAKE WHATEVER ACTION IS DEEMED NECESSARY TO MAINTAIN SAID SWM FACILITIES. THE TOWNSHIP IS UNDER NO OBLIGATION TO MAINTAIN OR REPAIR SAID FACILITIES.
9. IN THE EVENT THE TOWNSHIP TAKES ACTION TO MAINTAIN THE SWM FACILITIES, THE LANDOWNER SHALL REIMBURSE THE TOWNSHIP FOR FOR ALL EXPENSES PLUS ANY APPLICABLE PENALTY PER THE STORMWATER ORDINANCE REQUIREMENTS.
10. DURING CONSTRUCTION THE TEMPORARY OPERATION AND MAINTENANCE OF THE E&S AND PCSM BMPs IS TO BE AS FOLLOWS:
• MAINTENANCE OF ALL STORMWATER AND EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL COMMENCE IMMEDIATELY AFTER CONSTRUCTION BEGINS.
• IT SHALL BE THE CONTRACTOR'S/CO-PERMITTEE'S RESPONSIBILITY DURING CONSTRUCTION TO PREVENT SOIL FROM POLLUTING NEIGHBORING PROPERTIES, PUBLIC STREETS, AND/OR STORMWATER CONVEYANCE FACILITIES.
• INSPECTION AND MAINTENANCE OF THE E&S BMPs SHALL BE AS DESCRIBED ON THE APPROVED EROSION AND SEDIMENTATION PLAN FOR THE PROJECT.
• UPON REMOVAL OF THE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES, IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT THE PERMANENT STORMWATER FACILITIES LOCATED WITHIN THE PROPERTY ARE MAINTAINED IN THE DESIGN CONDITION AND AS OUTLINED IN THE O&M PLAN AND AGREEMENT FOR THE PROJECT.

B. INSPECTION/MAINTENANCE SCHEDULE:

- 1. TO ASSURE PROPER IMPLEMENTATION OF BMPs, MAINTENANCE AND CARE SWM BMPs SHOULD BE INSPECTED BY A QUALIFIED PERSON, WHICH MAY INCLUDE THE LANDOWNER, OR A DESIGNEE, ACCORDING TO THE FOLLOWING MINIMUM FREQUENCIES:
• ANNUALLY FOR THE FIRST FIVE YEARS
• ONCE EVERY THREE YEARS THEREAFTER
• DURING OR IMMEDIATELY AFTER THE CESSATION OF A 10-YEAR OR GREATER STORM (EQUATING TO AT LEAST 4.5 INCHES OR GREATER OF RAINFALL IN A TWENTY FOUR HOUR PERIOD)
• AS SPECIFIED IN THE O&M AGREEMENT PURSUANT TO §113-63 OF THE STORMWATER MANAGEMENT ORDINANCE
• ADDITIONAL INSPECTION FREQUENCY CRITERIA MAY BE INCLUDED WITHIN THE SPECIFIC LONG-TERM OPERATION AND MAINTENANCE SECTION BELOW.
2. GENERAL OPERATION AND MAINTENANCE TASKS SHALL BE PERFORMED MONTHLY, OR AS NEEDED AFTER RAINFALL EVENTS AND DURING THE GROWING SEASON.

C. GENERAL AND LONG-TERM INSPECTION, MAINTENANCE AND OPERATION INCLUDES:

- 1. GENERAL OPERATION AND MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
• REGULAR INSPECTION, MAINTENANCE AND CARE OF THE STORMWATER MANAGEMENT FACILITIES, AND BMPs BY A QUALIFIED PERSON, WHICH MAY INCLUDE THE LANDOWNER, OR THE OWNER'S DESIGNEE.
• ALL PIPES, SWALES, AND STORMWATER FACILITIES SHALL BE KEPT FREE OF ANY DEBRIS OR OTHER OBSTRUCTION AND IN ORIGINAL DESIGN CONDITION.
• REMOVAL OF SILT FROM ALL PERMANENT STRUCTURES WHICH TRAP SILT OR SEDIMENT IN ORDER TO KEEP THE MATERIAL FROM BUILDING UP IN PIPES, OR BMPs, AND THUS REDUCING THEIR CAPACITY TO CONVEY OR STORE WATER.
• RE-ESTABLISHMENT OF VEGETATION OF SCOURED AREAS OR AREAS WHERE VEGETATION HAS NOT BEEN SUCCESSFULLY ESTABLISHED.
• LAWN CARE, VEGETATION MAINTENANCE, LANDSCAPING AND PLANTING.
2. THE SPECIFIC LONG-TERM OPERATION AND MAINTENANCE SCHEDULE FOR THE PROPOSED BMPs ARE OUTLINED BELOW TO ENSURE PROPER FUNCTION AND OPERATION.

ROOF DRAIN SYSTEM (GUTTERS, DOWNSPOUTS, CLEAN OUTS, CLEANOUT SUMPS, AND ROOF LEADER PIPES):

- THE ROOF GUTTERS, DOWNSPOUTS, PIPING, CLEANOUT SUMPS AND CLEANOUTS SHALL BE INSPECTED FOR BLOCKAGES, DAMAGE AND ACCUMULATION OF TRASH AND SEDIMENT. REPAIR AND CLEAN AS NECESSARY.
• AT A MINIMUM SEDIMENT SHALL BE REMOVED ANNUALLY FROM THE ROOF DRAIN SYSTEM AND CLEANOUTS WITH A 12" SUMP INSTALLED PRIOR TO THE PIPES DISCHARGING INTO THE INFILTRATION BED.

STORMWATER CONVEYANCE PIPING AND STRUCTURES:

- THE STRUCTURES, INLETS, AND PIPING SHALL BE INSPECTED FOR DEBRIS, TRASH, AND SEDIMENT AND CLEANED AS NECESSARY.
• THE STRUCTURES, INLETS, AND PIPING SHALL BE INSPECTED FOR DAMAGE AND REPAIRED AS NEEDED.

INFILTRATION BED:

- ALL INLETS, PIPES, SWALES AND INFILTRATION FACILITIES SHALL BE KEPT FREE OF ANY DEBRIS OR OTHER OBSTRUCTION AND IN ORIGINAL DESIGN CONDITION.
• REMOVAL OF SILT FROM ALL PERMANENT STRUCTURES WHICH TRAP SILT OR SEDIMENT IN ORDER TO KEEP THE MATERIAL FROM BUILDING UP IN GRASS WATERWAYS, PIPES, INFILTRATION STRUCTURES, OR BMPs, AND THUS REDUCING THEIR CAPACITY TO CONVEY OR STORE WATER.
• INSPECT CLEANOUTS FOR DAMAGE, DEBRIS AND TRASH. REPAIR AND CLEAN AS NECESSARY.
• MONITOR DEWATERING TIME TO ENSURE COMPLETE DEWATERING WITHIN 72 HOURS FOLLOWING RAINFALL EVENTS EXCEEDING 3.0" IN 24 HOURS OR GREATER. MONITOR THE DEWATERING TIME FOR THE FACILITY BY UNSCREWING THE CLEANOUT CAP LOCATED WITHIN THE BED, AND LOWERING A ROD OR OTHER DEVICE TO THE BOTTOM OF THE STONE TO DETERMINE IF THERE IS STANDING WATER. (THE DEPTH TO THE BED BOTTOM VARIES). IF STANDING WATER IS FOUND AFTER 72 HOURS, THE FACILITY SHALL BE REPAIRED TO FUNCTIONING CONDITION. REPAIR MAY INCLUDE THE FLUSHING & CLEANING OF THE PERFORATED PIPING, AND/OR REPLACEMENT OF THE FACILITY PER THE DETAIL. A QUALIFIED PROFESSIONAL MAY BE CONSULTED TO DETERMINE THE CAUSE OF FAILURE, AND AN APPROPRIATE REMEDIATION FOR THE FACILITY.
• THE TOWNSHIP MUST BE NOTIFIED IN THE EVENT THAT THE INFILTRATION BED DOES NOT DRAIN WITHIN 72 HOURS.

WATER QUALITY (WQ) FILTER BAGS WITHIN INLETS:

- REMOVE INLET GRATES, AND REMOVE TRASH AND DEBRIS AS NEEDED. THE INLET FILTER BAG MAY BE CLEANED FOR REUSE, OR REPLACE INLET FILTER BAG AS NEEDED.
• THE REPLACEABLE INLET FILTER BAG AND ITS ASSOCIATED FRAMING SHALL BE INSPECTED FOR DAMAGE AND REPAIRED AS NEEDED.
• INCREASE THE FREQUENCY OF INSPECTION TO INSPECT FOLLOWING RAIN EVENTS OF MORE THAN 1 INCH IN 24 HOURS, AND AT LEAST BI-WEEKLY DURING SUMMER MONTHS.

D. REPLACEMENT NOTES:

- 1. IN THE EVENT THAT ANY OF THE PROPOSED BMPs BECOME DAMAGED, OR FAIL TO FUNCTION AS DESIGNED (DEWATER WITHIN 72 HRS), THE BMP IS TO BE REPAIRED AND/OR REPLACED PER THE ORIGINAL DESIGN, OR A MODIFIED DESIGNED AS APPROVED BY THE TOWNSHIP.
2. IF THE INFILTRATION BMPs FAIL TO DEWATER WITH 72 HOURS FROM THE END OF A STORM EVENT CORRECTIVE MEASURES SHALL BE TAKEN WHICH MAY INCLUDE REPLACEMENT OF THE FACILITY.
3. ANY FORMATION OF SINKHOLES OR SOLUTION CHANNELS WITHIN THE INFILTRATION FACILITIES SHALL BE REPAIRED. THE CONTRACTOR SHALL NOTIFY THE COUNTY CONSERVATION DISTRICT, THE TOWNSHIP AND HARBOR ENGINEERING, INC. IMMEDIATELY UPON DISCOVERING/ENCOUNTERING ANY SINKHOLE AND THE SERVICES OF A REGISTERED ENGINEER OR GEOLOGIST SHALL BE OBTAINED FOR ANY CAUSE THE WORK TO BE DONE AND SHALL TAKE THE APPROPRIATE ACTION TO FILE A MUNICIPAL CLAIM PURSUANT TO THE PA MUNICIPAL CLAIMS AND TAX LIENS ACT, ACT 1923, MAY 16, P.L. 207, AS AMENDED AND SUPPLEMENTED, AS A LIEN UPON THE REAL PROPERTY UPON WHICH THE WORK WAS DONE.

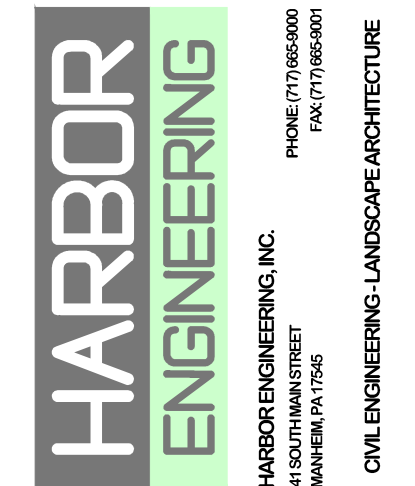
E. REPORTING:

- 1. THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING RECORDS OF ALL INSPECTIONS OF AND MAINTENANCE TO BMPs AND OTHER STORM WATER MANAGEMENT FACILITIES AS SPECIFIED BY THE TERMS AND CONDITIONS OF THE NPDES PERMIT. IT IS THE RESPONSIBILITY OF OWNER TO INFORM SUCCESSORS OWNERS OF THE PREMISES OF ANY REPORTING REQUIREMENT.
2. A WRITTEN REPORT IS TO BE COMPLETED THAT DOCUMENTS EACH INSPECTION AND ALL PCSM BMP REPAIR AND MAINTENANCE ACTIVITIES CONDUCTED.
3. INSPECTIONS ARE TO BE LOGGED ONTO DEP FORM 3150-FM-BWE0083 DATED 2/2012 AND KEPT ON SITE AT ALL TIMES. AT A MINIMUM THE INSPECTION REPORTS ARE TO INCLUDE THE DATES AND TYPES OF SPECIFIC LONG TERM MAINTENANCE TASKS PERFORMED FOR EACH BMP.
4. THE INSPECTION REPORTS WILL BE PROVIDED TO THE MUNICIPALITY UPON REQUEST.
5. THE PCSM PLAN, INSPECTION REPORTS, AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR CONSERVATION DISTRICT

F. RESPONSIBLE PARTY AT TIME OF PLAN:

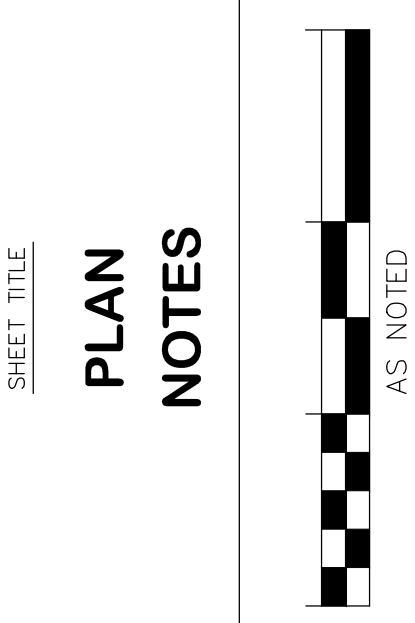
SITE ADDRESS: WEST MAIN STREET (NO ADDRESS GIVEN)
MUNICIPAL EMERGENCY SERVICES AUTHORITY c/o J. MARC HERSHEY
380 WEST BAINBRIDGE STREET, ELIZABETHTOWN, PA 17022
(717) 361-8220

MS4-PCSM PLAN & BMP DATA TABLE
OVERALL PCSM PLAN VOLUME REDUCTION (CF) PRE: 1,214 CF POST: 3,971 CF
WATERSHED: DONEGAL CREEK
RECEIVING WATERBODY: TRIBUTARY 07924 TO DONEGAL CREEK
NPDES PERMIT No.: X
SITE ADDRESS: WEST MAIN STREET (NO ADDRESS GIVEN) MOUNT JOY, PA 17552
RESPONSIBLE PARTY FOR OPERATION AND MAINTENANCE AT TIME OF PLAN APPROVAL: MUNICIPAL EMERGENCY SERVICES AUTHORITY c/o J. MARC HERSHEY 380 WEST BAINBRIDGE STREET, ELIZABETHTOWN, PA 17022
THE PCSM PLAN ACCOUNTS FOR THE MAXIMUM IMPERVIOUS AREAS AS LISTED IN THE SITE DATA CHART ON SHEET 1, AND FURTHER SPECIFIED WITHIN DRAINAGE AREAS AS FOLLOWS:
AREA A UNDETAINED - 5,059 SF IMPERVIOUS ONSITE (INCLUDES 1,242 SF FUTURE IMPERVIOUS) PLUS 0 SF OF NEW IMPERVIOUS OFFSITE WITHIN THE R.O.W.
AREAS TO THE BMPs ARE AS LISTED IN THE CHART BELOW
NOTE: PCSM ANALYSIS INCLUDED EXISTING OFFSITE IMPERVIOUS AREAS
TOTAL NUMBER OF PROPOSED PCSM BMPs: 1. INFILTRATION BED INLETS WITH WQ INLET FILTER BAGS DOWNSPOUT FILTERS (OR GUTTER GUARDS)
INDIVIDUAL PCSM BMP INFORMATION
PCSM BMP NAME: INFILTRATION BED - SCM 1
PCSM BMP DESC./ TYPE.: UNDERGROUND STONE INFILTRATION AREA
LIFE CYCLE: 450 YEARS
BMP DIMENSIONS (LENGTH x WIDTH x DEPTH): AS SHOWN ON PLAN
BMP AREA (SF): 4,032 SF
AREA TREATED (ACRES): 0.289 AC (12,603 SF)
IMPERVIOUS AREA TREATED (SF): 12,257 SF (INCLUDES 920 SF FUTURE IMPERVIOUS)
VOLUME OF STORMWATER TREATED (CF): 2,807 CF (2 YR/24 HR STORM EVENT)
VOLUME OF STORMWATER REDUCTION (CF): 2,807 CF (2 YR/24 HR STORM EVENT)
TOWNSHIP OUTFALL No.: N/A

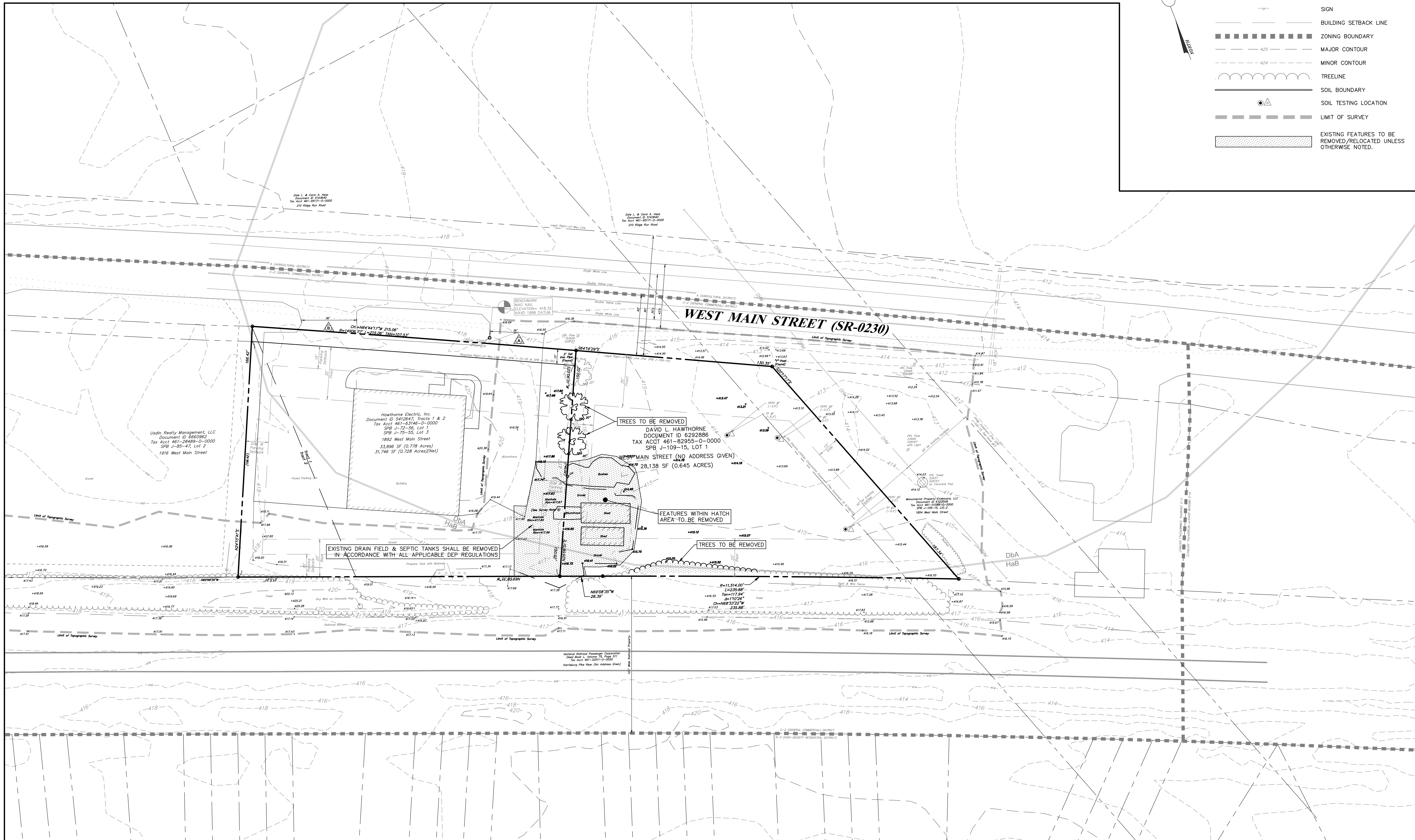


MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
c/o J. MARC HERSHEY
380 W. BAINBRIDGE STREET
ELIZABETHTOWN PA 17022
717-361-8220
CLIENT: MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
NO BY DATE
1. BRK 02/19/2026 PER. TWP. ENGINEER & AUTHORITY REVIEW COMMENTS
2. NHE 03/03/2026 PER. TWP. ENGINEER & AUTHORITY REVIEW COMMENTS
REVISION

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION



SEAL
DRAWN BY: BRK CHECKED BY: SPG
DATE: FEBRUARY 9, 2026
PROJECT NO.: 251195-001
SHEET: 2 OF 11



SAFE DISTANCE DATA

| DRIVEWAY | POSTED MPH | SLOPE | LEFT DISTANCE REQUIRED | ACTUAL DISTANCE | RIGHT DISTANCE REQUIRED | ACTUAL DISTANCE |
|----------|------------|-------|------------------------|-----------------|-------------------------|-----------------|
| | 55 | -0.3 | 538' | 600'+ | +0.7 | 527' |
| | 55 | -0.4 | 538' | 600'+ | +0.4 | 538' |

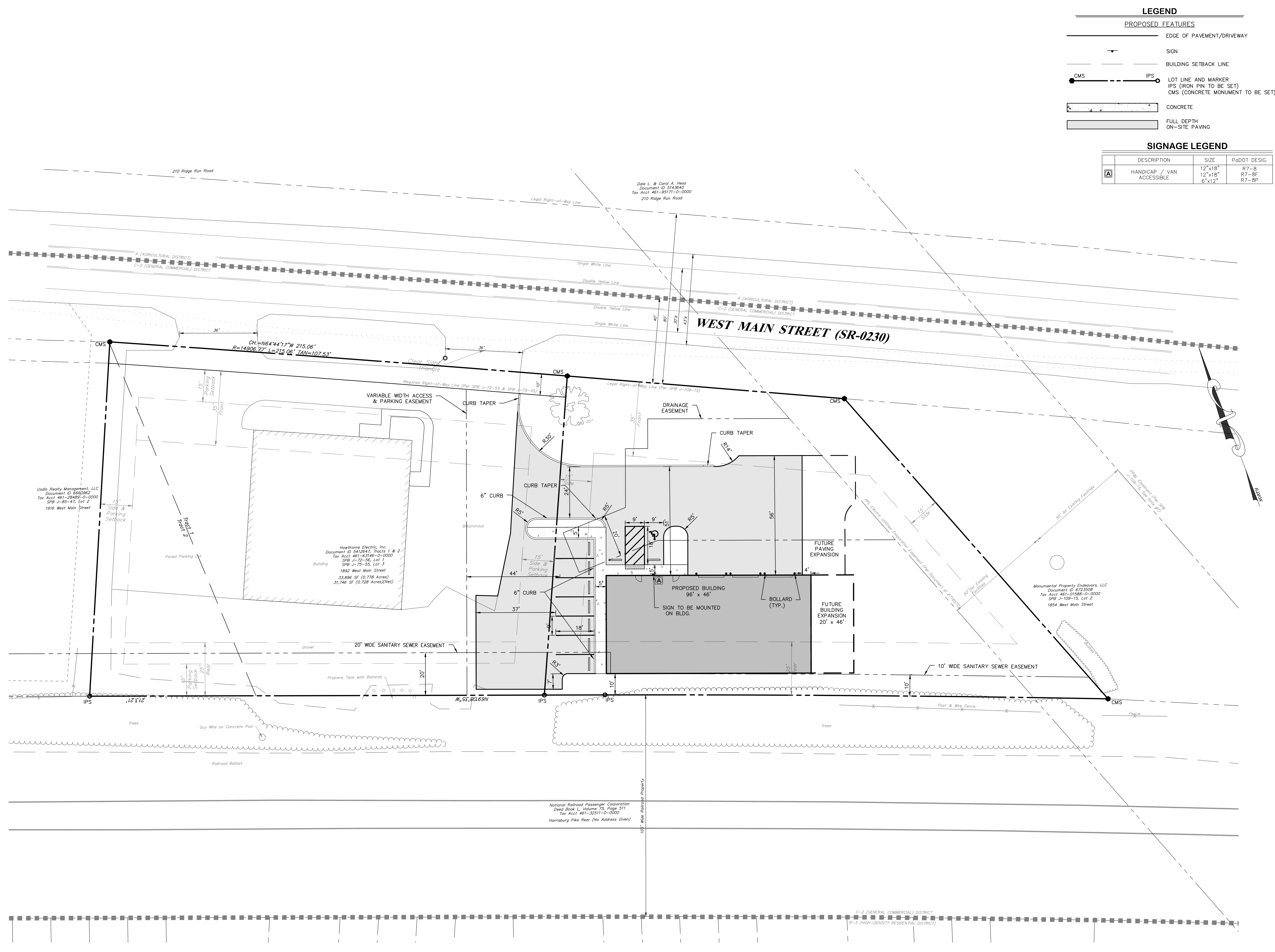
- LEGEND**
- EXISTING FEATURES**
- SEWER MAIN & MANHOLE
 - UTILITY POLE
 - OVERHEAD WIRE
 - EDGE OF PAVEMENT/DRIVEWAY
 - RIGHT-OF-WAY LINE
 - BOUNDARY & CORNER
 - FENCE
 - SIGN
 - BUILDING SETBACK LINE
 - ZONING BOUNDARY
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - TREELINE
 - SOIL BOUNDARY
 - SOIL TESTING LOCATION
 - LIMIT OF SURVEY
 - EXISTING FEATURES TO BE REMOVED/RELOCATED UNLESS OTHERWISE NOTED.

| NO | BY | DATE | REVISION |
|----|-----|------------|----------------------------------|
| 1 | BRK | 02/07/2026 | PER TWP ENGINEER REVIEW COMMENTS |
| 2 | NAB | 03/10/2026 | PER TWP ENGINEER REVIEW COMMENTS |

CLIENT
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
 COO: J. MARC HERSHEY
 380 W. BAINBRIDGE STREET
 ELIZABETHTOWN PA 17022
 717-361-8220

**PRELIMINARY / FINAL
 LAND DEVELOPMENT PLAN
 FOR
 MESA SUBSTATION**

**EXISTING CONDITIONS
 AND DEMOLITION PLAN**



LEGEND

- PROPOSED FEATURES**
- EDGE OF PAVEMENT/DRIVEWAY
 - SIGN
 - BUILDING SETBACK LINE
 - CMS
 - IPS (IRON PIN TO BE SET)
 - CMS (CONCRETE MONUMENT TO BE SET)
 - ▨ CONCRETE
 - ▭ FULL DEPTH ON-SITE PAVING

SIGNAGE LEGEND

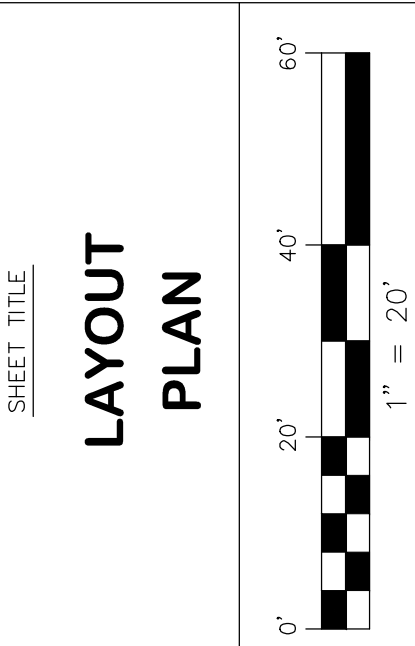
| DESCRIPTION | SIZE | PaDOT DESIG. |
|-----------------------------|------------------------------|------------------------|
| A HANDICAP / VAN ACCESSIBLE | 12"x18" 12"x18" 6"x12" | R7-8 R7-8F R7-8P |



| NO | BY | DATE | REVISION |
|----|-----|------------|---|
| 1 | BRK | 02/07/2026 | PER TWP. ENGINEER & AUTHORITY REVIEW COMMENTS |
| 2 | NAB | 02/10/2026 | PER TWP. ENGINEER REVIEW COMMENTS |

CLIENT
 MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
 c/o J. MARC HERSHEY
 380 W. BAINBRIDGE STREET
 ELIZABETHTOWN PA 17022
 717-361-6220

PROJECT TITLE
 PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
 MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA



SHEET TITLE
 LAYOUT PLAN

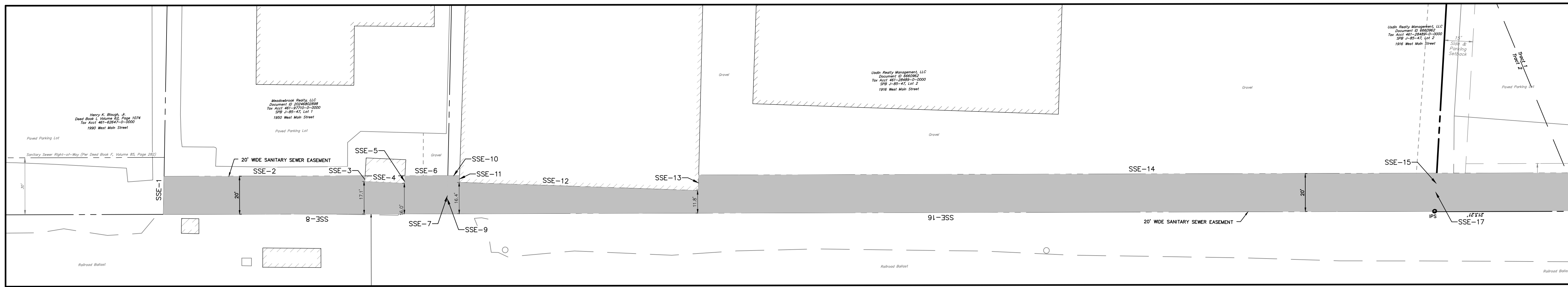
SEAL

DRAWN BY: BRK
 CHECKED BY: SPG

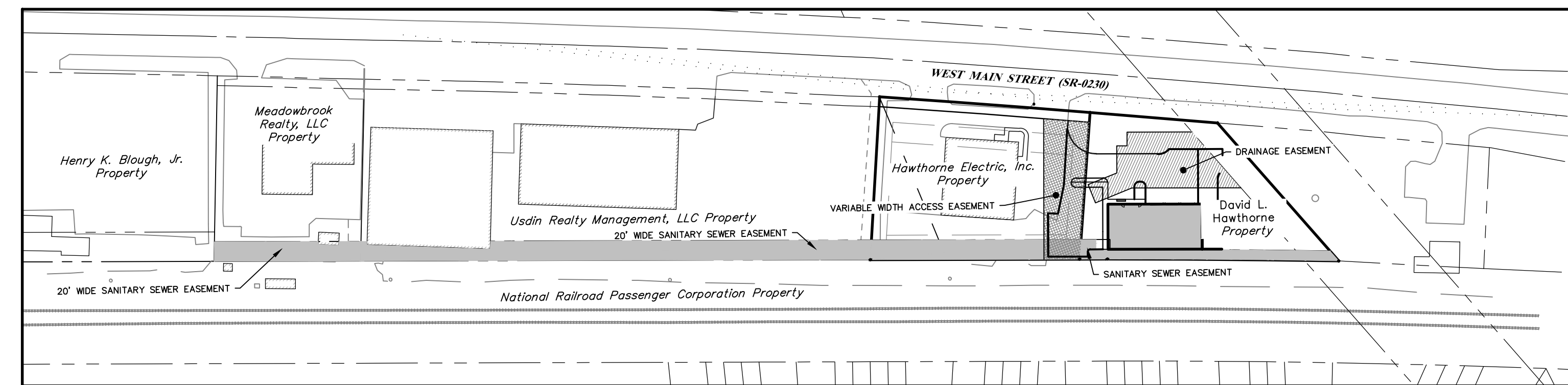
DATE: FEBRUARY 9, 2026

PROJECT NO.: 251195-001

SHEET: 4 OF 11



SANITARY SEWER EASEMENT
1" = 30'



OVERALL EASEMENT PLAN
1" = 100'

| LINE | BEARING | LENGTH |
|-------|-------------|--------|
| DE-1 | S20°10'47"E | 16.35 |
| DE-2 | S20°10'47"E | 75.57 |
| DE-3 | N69°08'35"W | 111.39 |
| DE-4 | S88°50'33"E | 39.81 |
| DE-5 | N1°09'27"W | 20.00 |
| DE-6 | N88°50'33"E | 31.60 |
| DE-7 | N20°51'25"E | 27.59 |
| DE-8 | S69°08'35"E | 10.51 |
| DE-9 | N20°51'25"E | 13.95 |
| DE-10 | S69°08'35"E | 66.38 |

| LINE | BEARING | LENGTH |
|-------|-------------|--------|
| SSE-1 | N21°59'53"E | 20.00 |
| SSE-2 | S69°08'35"E | 105.82 |
| SSE-3 | S24°11'55"W | 2.95 |
| SSE-4 | S66°20'41"E | 20.92 |
| SSE-5 | N24°11'55"E | 3.98 |
| SSE-6 | S69°08'35"E | 22.56 |
| SSE-7 | S22°14'29"W | 20.01 |
| SSE-8 | N69°08'35"W | 149.24 |
| SSE-9 | N22°14'29"E | 20.01 |

| LINE | BEARING | LENGTH |
|--------|-------------|--------|
| SSE-10 | S69°08'35"E | 6.19 |
| SSE-11 | S22°55'41"W | 3.58 |
| SSE-12 | S67°03'27"E | 125.86 |
| SSE-13 | N22°21'52"E | 8.17 |
| SSE-14 | S69°08'35"E | 388.45 |
| SSE-15 | N24°15'41"E | 20.04 |
| SSE-16 | N69°08'35"W | 519.80 |
| SSE-17 | N24°15'41"E | 20.04 |
| SSE-18 | S69°08'35"E | 213.50 |

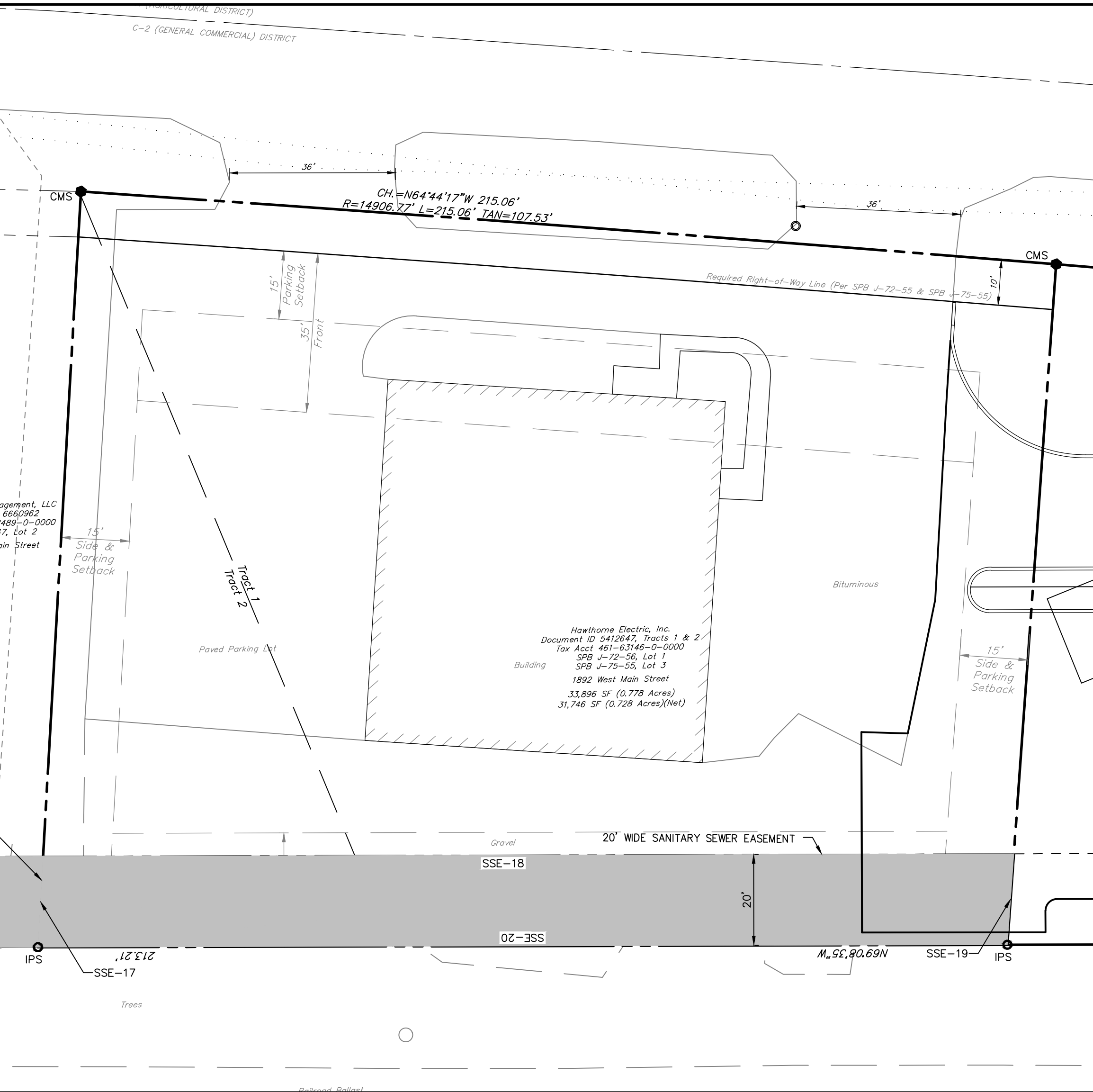
| LINE | BEARING | LENGTH |
|--------|-------------|--------|
| SSE-19 | S25°06'01"W | 20.05 |
| SSE-20 | N69°08'35"W | 213.21 |
| SSE-21 | N25°06'01"E | 10.03 |
| SSE-22 | S69°08'35"E | 15.23 |
| SSE-23 | S20°51'25"W | 10.00 |
| SSE-24 | S69°08'35"E | 11.67 |
| SSE-25 | S20°17'17"E | 13.52 |
| SSE-26 | N69°08'35"W | 28.39 |

| CURVE | RADIUS | LENGTH | TANGENT | DELTA | BEARING | DISTANCE |
|--------|----------|---------|---------|----------|-------------|----------|
| SSEC-1 | 11524.00 | 226.98' | 113.50' | 1°07'43" | S68°34'44"E | 226.98' |
| SSEC-4 | 11514.00 | 235.88' | 117.94' | 1°10'26" | N68°33'22"W | 235.88' |

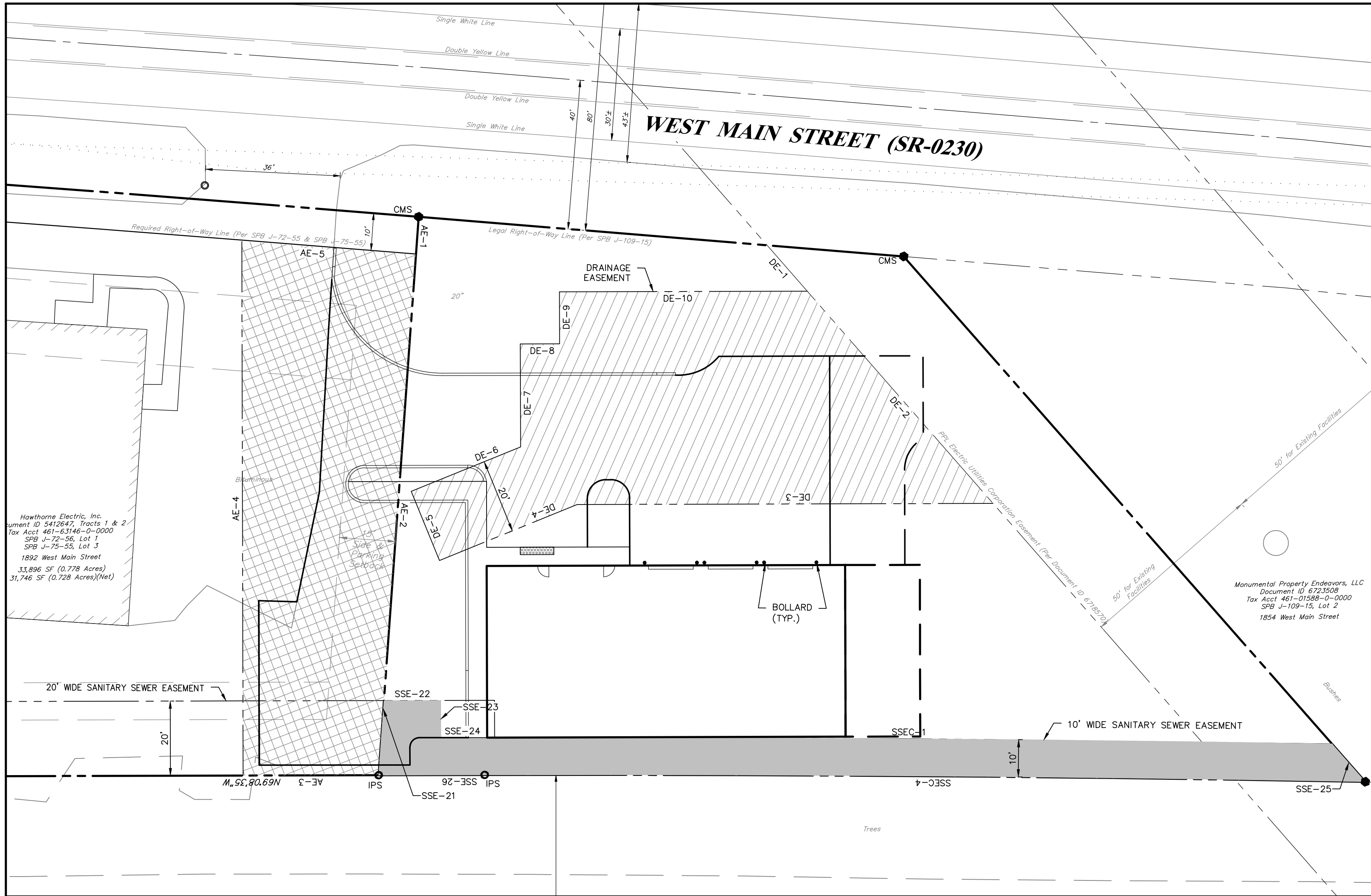
LEGEND

EASEMENT FEATURES

- ACCESS EASEMENT
- DRAINAGE EASEMENT
- SANITARY SEWER EASEMENT (PUBLIC)



SANITARY SEWER EASEMENT
1" = 20'

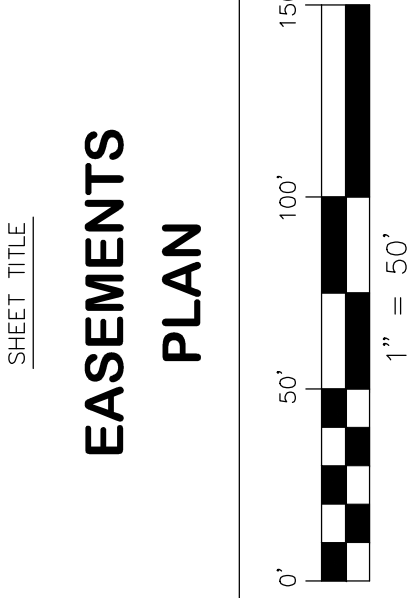


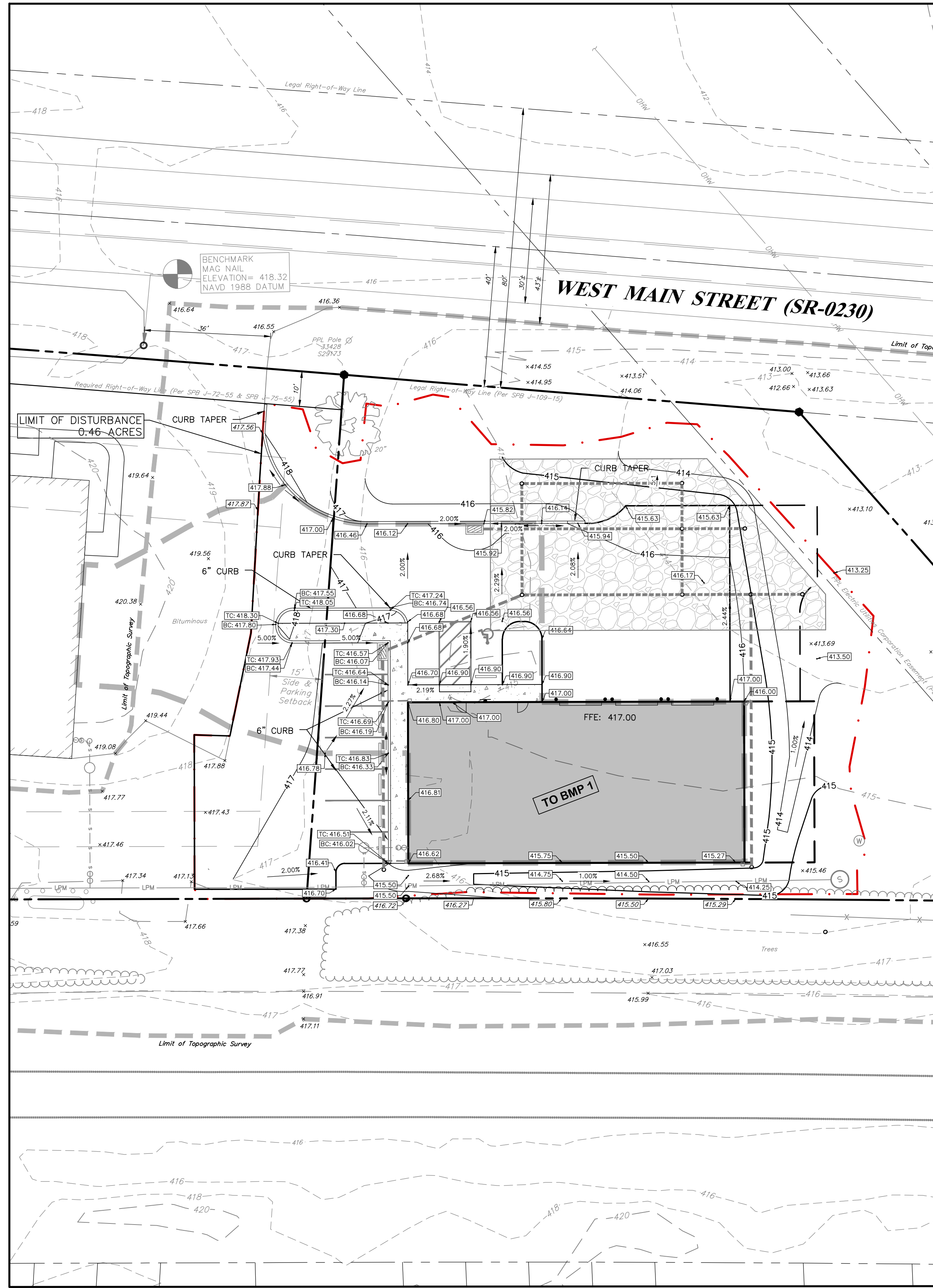
ACCESS, DRAINAGE AND SANITARY SEWER EASEMENT
1" = 20'

| NO. | DATE | REVISION |
|-----|------------|---|
| 1 | 02/09/2026 | PER TWP. ENGINEER & AUTHORITY REVIEW COMMENTS |
| 2 | 03/09/2026 | PER TWP. ENGINEER REVIEW COMMENTS |

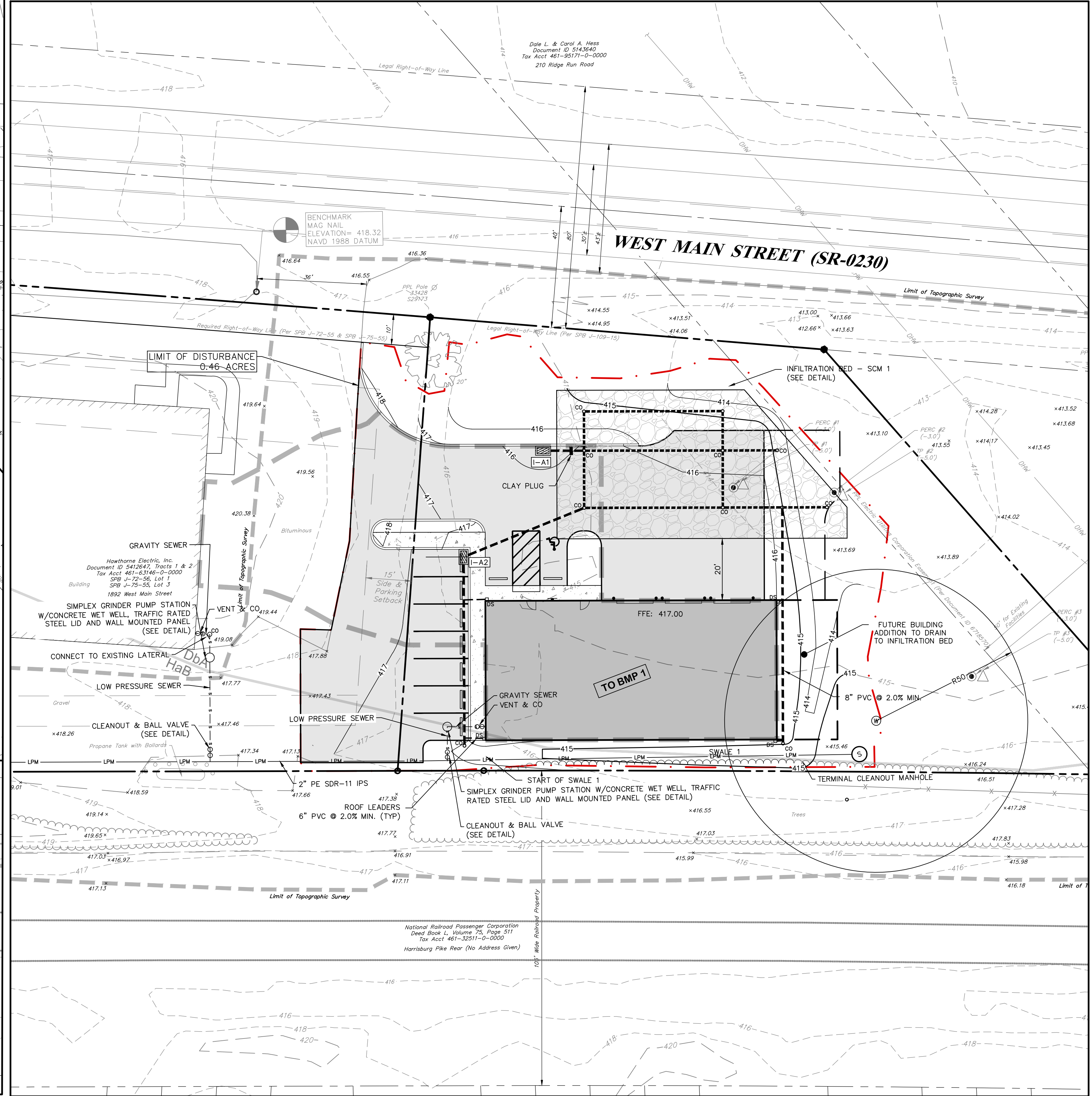
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
C/O J. MARC HERSHEY
380 W. BAINBRIDGE STREET
ELIZABETHTOWN PA 17022
717-361-8220

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA





GRADING PLAN



UTILITY PLAN

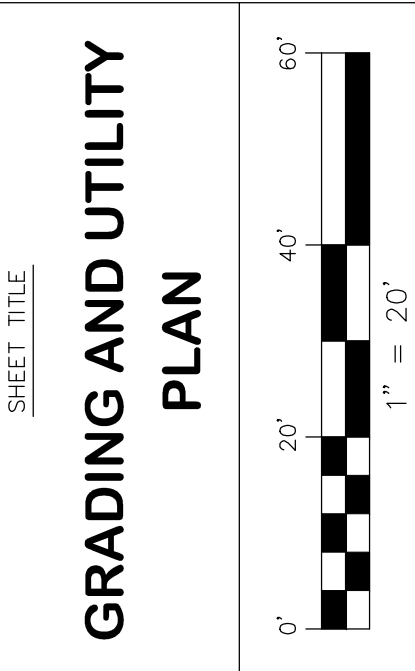
LEGEND

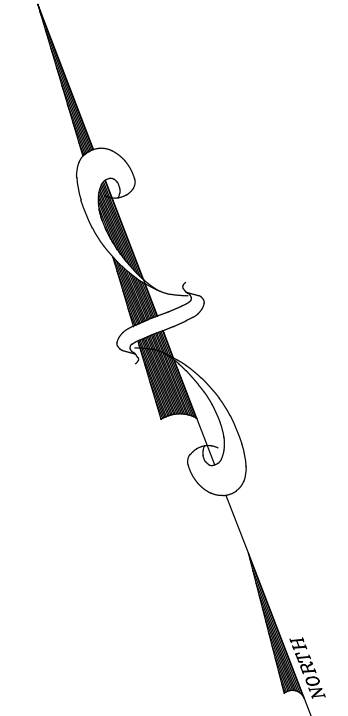
| PROPOSED FEATURES | |
|----------------------------------|--|
| (Symbol: Circle with W) | WELL |
| (Symbol: Line with W) | SANITARY SEWER LOW PRESSURE MAIN |
| (Symbol: Line with W and circle) | WATER LATERAL & VALVE |
| (Symbol: Line with S) | GRAVITY SANITARY SEWER LATERAL |
| (Symbol: Line with DS and CO) | SOLID STORM PIPE, DOWNSPOUT & CLEANOUT |
| (Symbol: Line with CO) | PERFORATED STORM PIPE, INLET |
| (Symbol: Stippled area) | INFILTRATION BED |
| (Symbol: Solid line) | MAJOR CONTOUR |
| (Symbol: Dashed line) | MINOR CONTOUR |
| (Symbol: Wavy line) | EDGE OF TREELINE |
| (Symbol: Dashed line with dots) | LIMIT OF DISTURBANCE |
| (Symbol: Thick solid line) | DRAINAGE BOUNDARY |

| NO | BY | DATE | REVISION |
|----|-----|------------|--|
| 1 | BRK | 02/10/2026 | PER TWP ENGINEER & AUTHORITY REVIEW COMMENTS |
| 2 | NAB | 03/10/2026 | PER TWP ENGINEER REVIEW COMMENTS |

CLIENT
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
 COO: J. MARC HERSHEY
 380 W. BAINBRIDGE STREET
 ELIZABETHTOWN PA 17022
 717-361-8220

PROJECT TITLE
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION

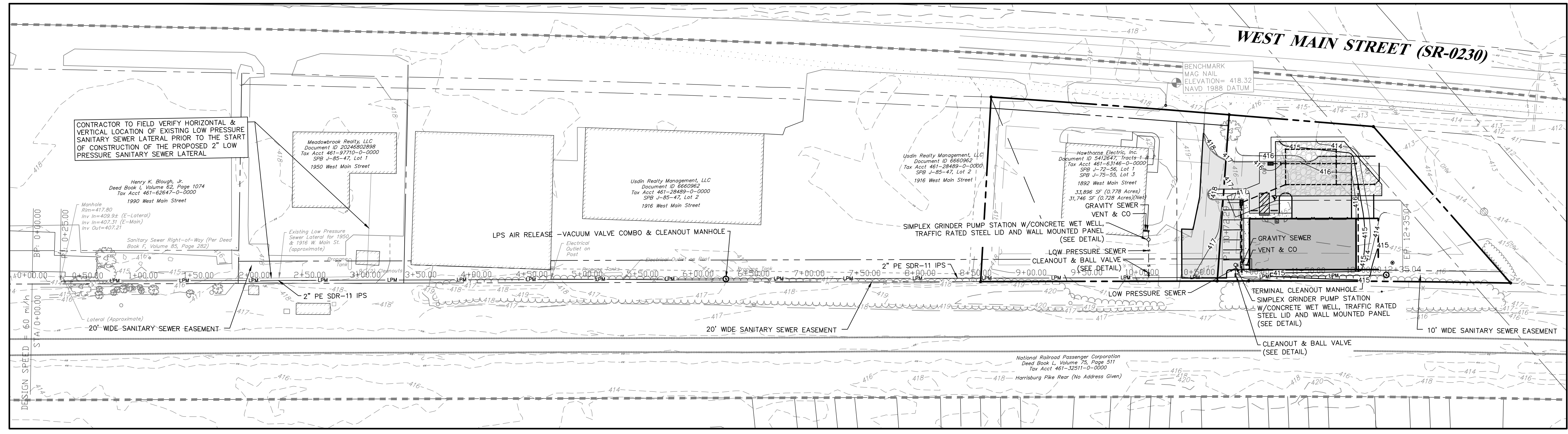




| NO. | DATE | BY | REVISION |
|-----|----------------|----------------------------------|----------|
| 1 | BRK 02/12/2026 | PER TWP ENGINEER REVIEW COMMENTS | |
| 2 | INV 03/10/2026 | PER TWP ENGINEER REVIEW COMMENTS | |

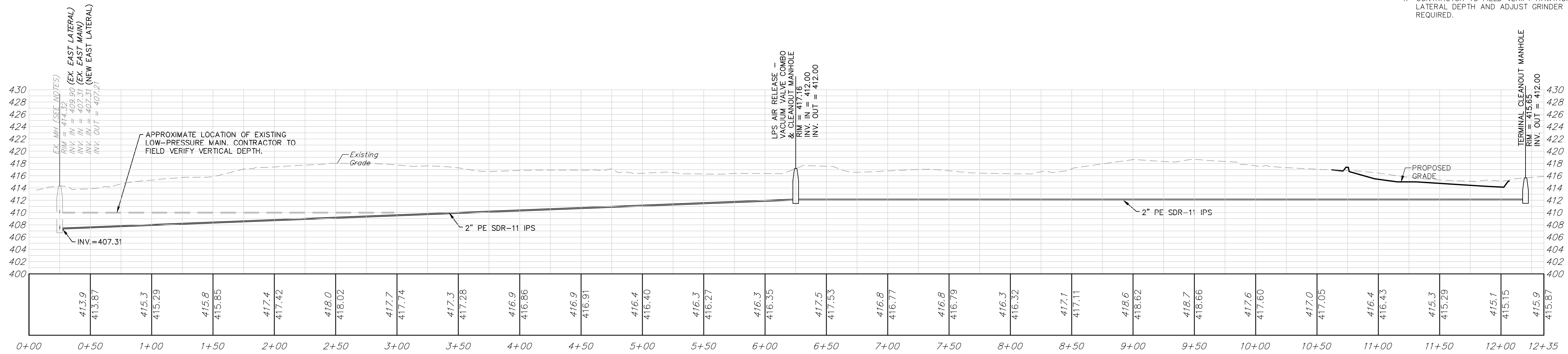
CLIENT
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
 CO: J. MARC HERSHEY
 380 W. BAINBRIDGE STREET
 ELIZABETHTOWN PA 17022
 717-361-8220

PROJECT TITLE
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
 MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA



PLAN VIEW
 SCALE: 1" = 50'

- SEWER NOTES:**
- INSTALL DETECTABLE WARNING TAPE CONSISTING OF POLYETHYLENE FILM ENCASED IN A METALLIC CORE, MINIMUM 6 INCHES WIDE AND 4 MILS THICK, COLOR CODED GREEN FOR SEWER, BEARING IN BLACK LETTERS - CAUTION: SEWER LINE BELOW.
 - LOW-PRESSURE SEWER MAIN MUST BE PRESSURE TESTED IN ACCORDANCE WITH THE ELIZABETHTOWN REGIONAL SEWER AUTHORITY SPECIFICATIONS FOR SANITARY SEWER CONSTRUCTION 2024-04 (SEE SECTION 6 LOW PRESSURE SEWERS, SUB-ITEM E.3).
 - THE EXISTING MANHOLE AND THE TWO MANHOLES IMMEDIATELY DOWNSTREAM OF THE LOW-PRESSURE CONNECTION MANHOLE MUST BE LINED IN ACCORDANCE WITH THE ELIZABETHTOWN REGIONAL SEWER AUTHORITY SPECIFICATIONS FOR SANITARY SEWER CONSTRUCTION 2024-04 (SEE SECTION 7 MANHOLES, SUB-ITEM B.6.b.(3)).
 - CONTRACTOR TO FIELD VERIFY HAWTHORNE ELECTRIC EXISTING BUILDING LATERAL DEPTH AND ADJUST GRINDER PUMP STATION INVERT AS REQUIRED.



SANITARY SEWER LATERAL
 HORZ. SCALE: 1" = 50'
 VERT. SCALE: 1" = 10'

SHEET TITLE
SANITARY SEWER PROFILE

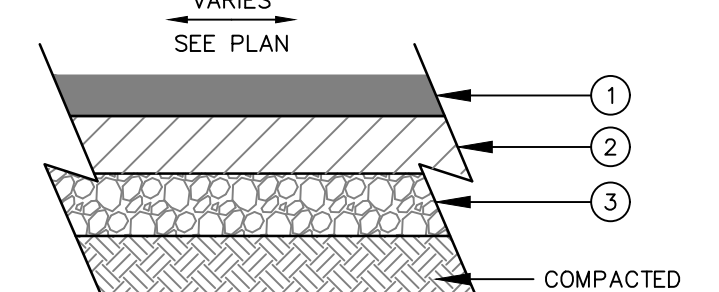
SEAL

| | |
|------------------|--------------------|
| DRAWN BY: BRK | CHECKED BY: SPG |
|------------------|--------------------|

DATE: FEBRUARY 9, 2026
 PROJECT NO.:
251195-001

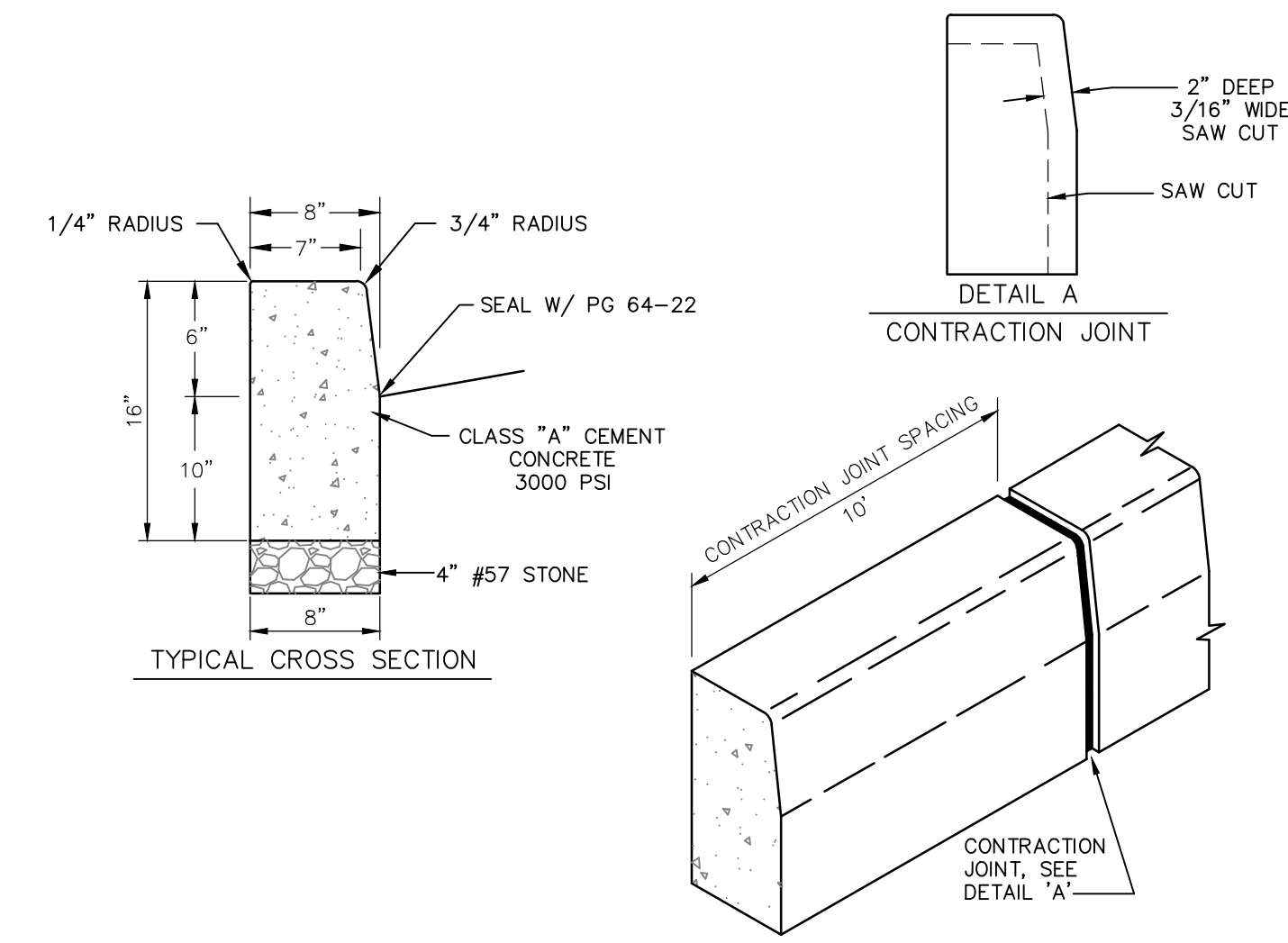
| ONSITE PAVING | |
|---------------|---|
| 1 | 1.5" SUPERPAVE ASPHALT DESIGN, WEARING COURSE, PG 64-22, 0.3 TO <3.0 MILLION ESALS, 9.5 MM, SRL-H |
| 2 | 4" SUPERPAVE ASPHALT DESIGN, BINDER COURSE, PG 64-22, 0.3 TO <3.0 MILLION ESALS, 25 MM, SRL-H |
| 3 | 8" 2A MODIFIED STONE SUBBASE |

NOTE: ALL DEPTHS ARE FINAL COMPACTED DEPTHS



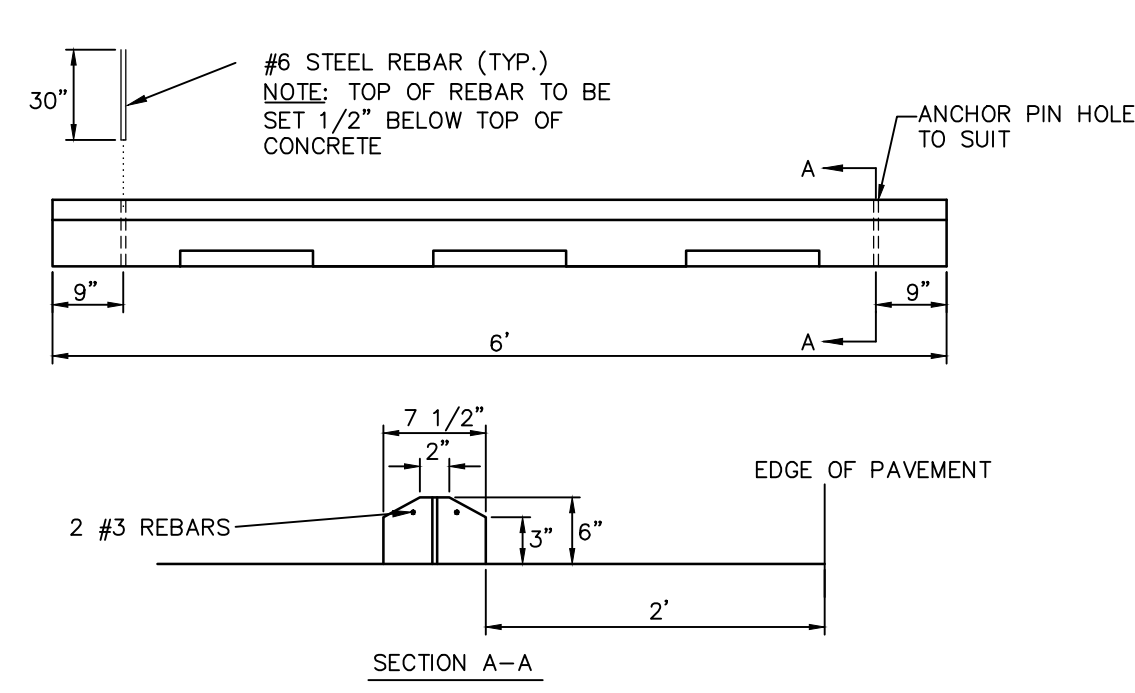
PAVING CROSS SECTION DETAIL

1 8 NOT TO SCALE



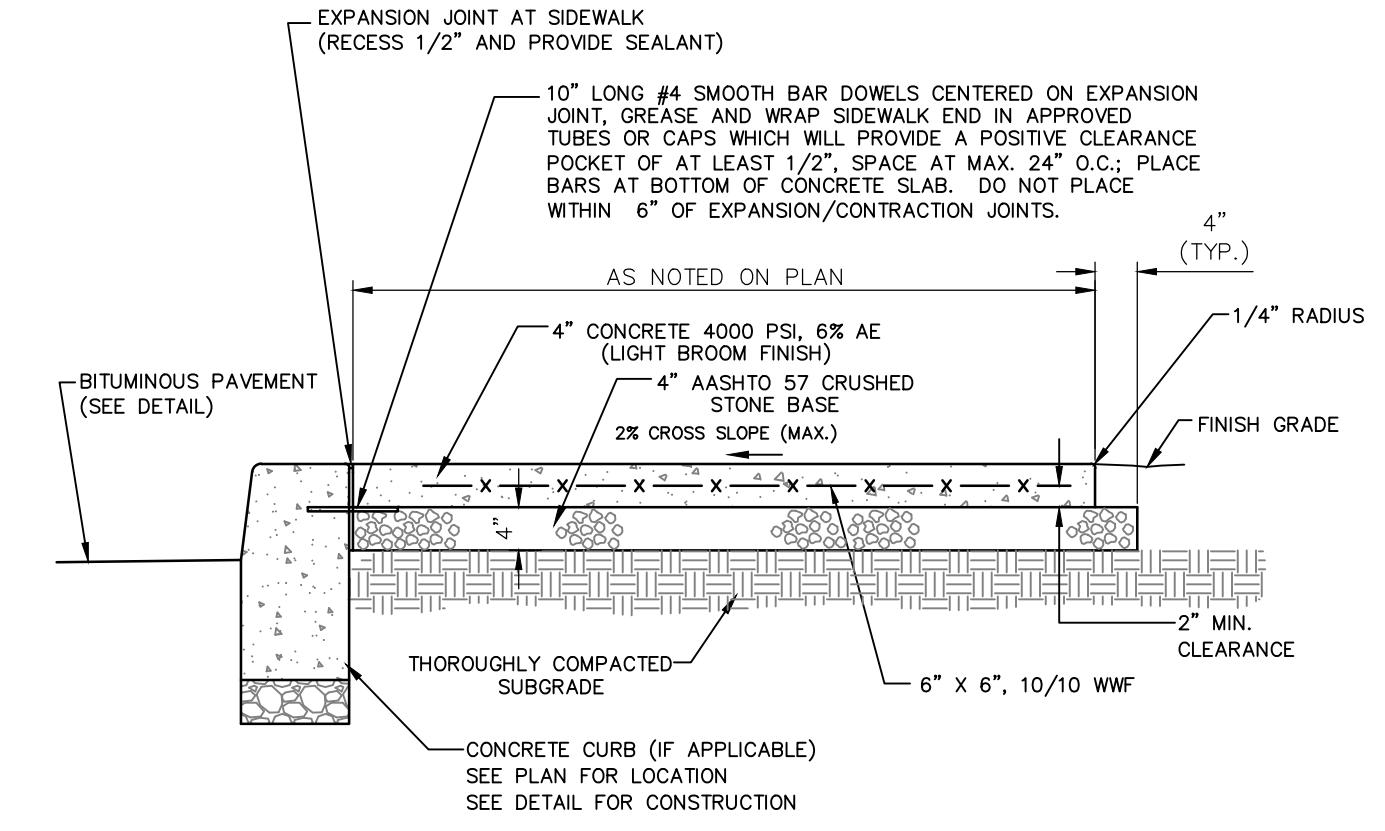
STANDARD VERTICAL CURB DETAIL

3 8 NOT TO SCALE



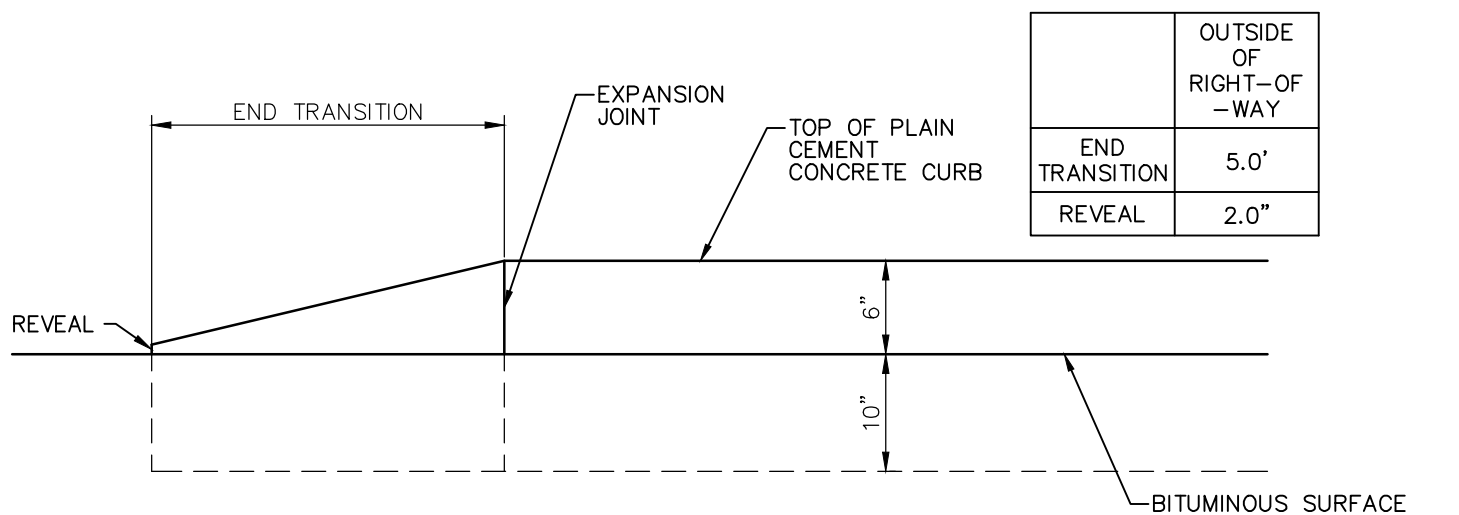
CONCRETE WHEEL STOP

4 8 NOT TO SCALE



TYPICAL CONCRETE SIDEWALK SECTION

5 8 NOT TO SCALE

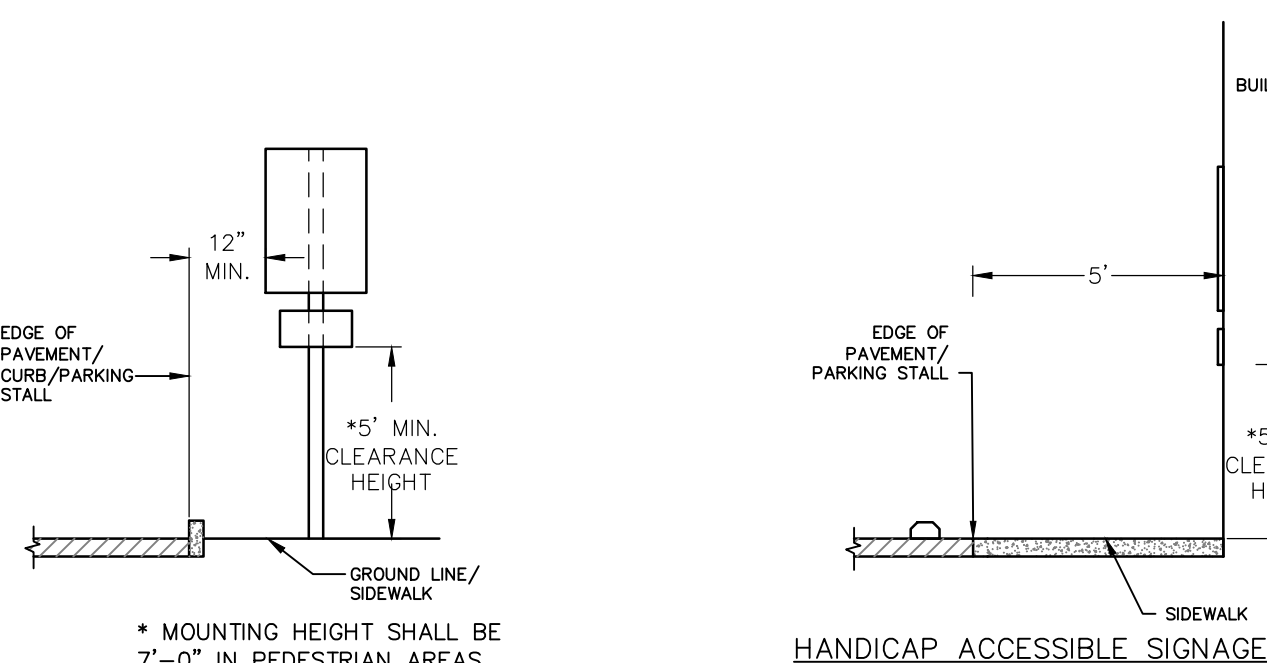


CURB END TAPER DETAIL

2 8 NOT TO SCALE

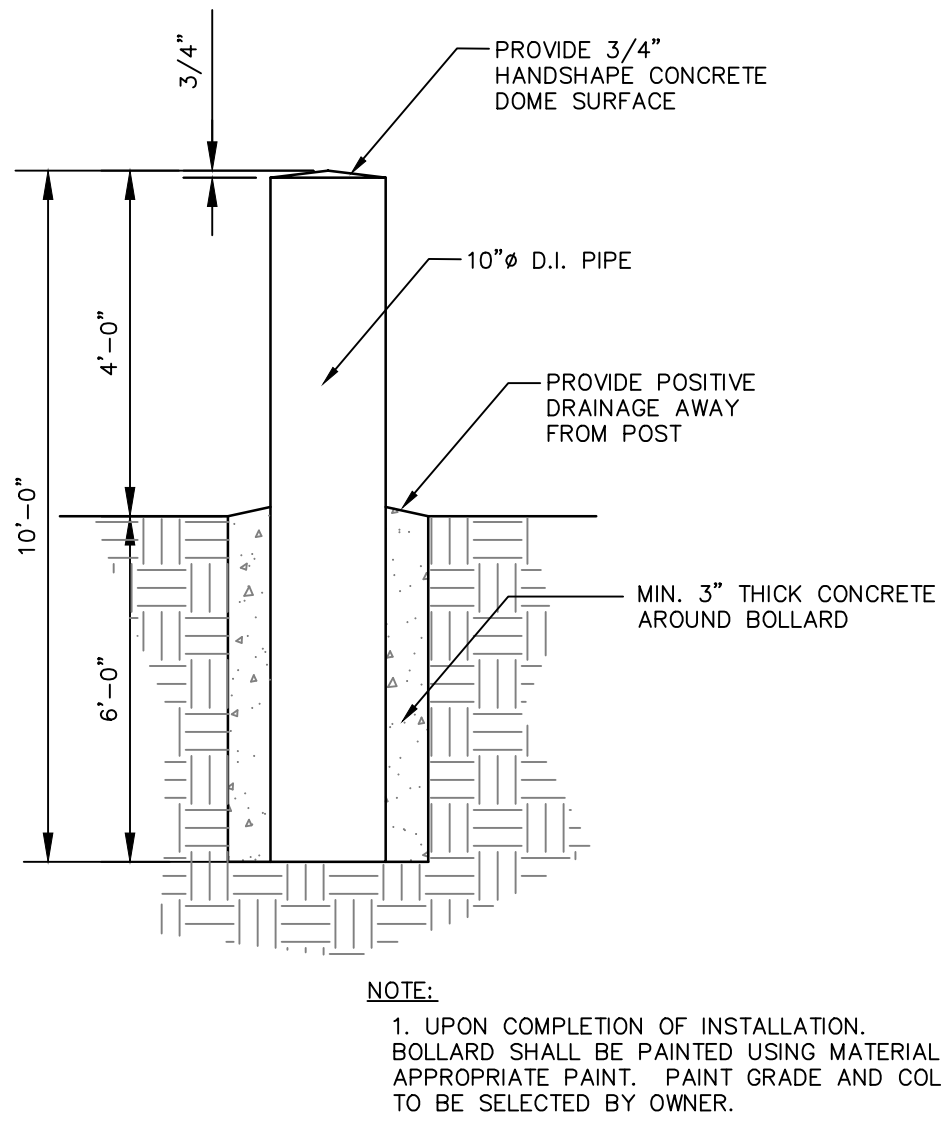
| DESCRIPTION | SIZE | PODOT DESG. | NOTES |
|----------------|---------|-------------|-------------------------------------|
| HANDICAP SIGN | 12"x18" | R7-S | BLUE BACKGROUND |
| VAN ACCESSIBLE | 6"x12" | R7-8B | GREEN LETTERING ON WHITE BACKGROUND |

- INSTALLATION NOTES:
- FOR HANDICAP ACCESSIBLE SIGNS, HEIGHTS SHALL BE IN ACCORDANCE WITH A.D.A. STANDARDS AND LOCATIONS AS SHOWN ON THE PLAN.
 - SIGN PLATE TO BE AFFIXED WITH ANTI-THEFT HARDWARE.



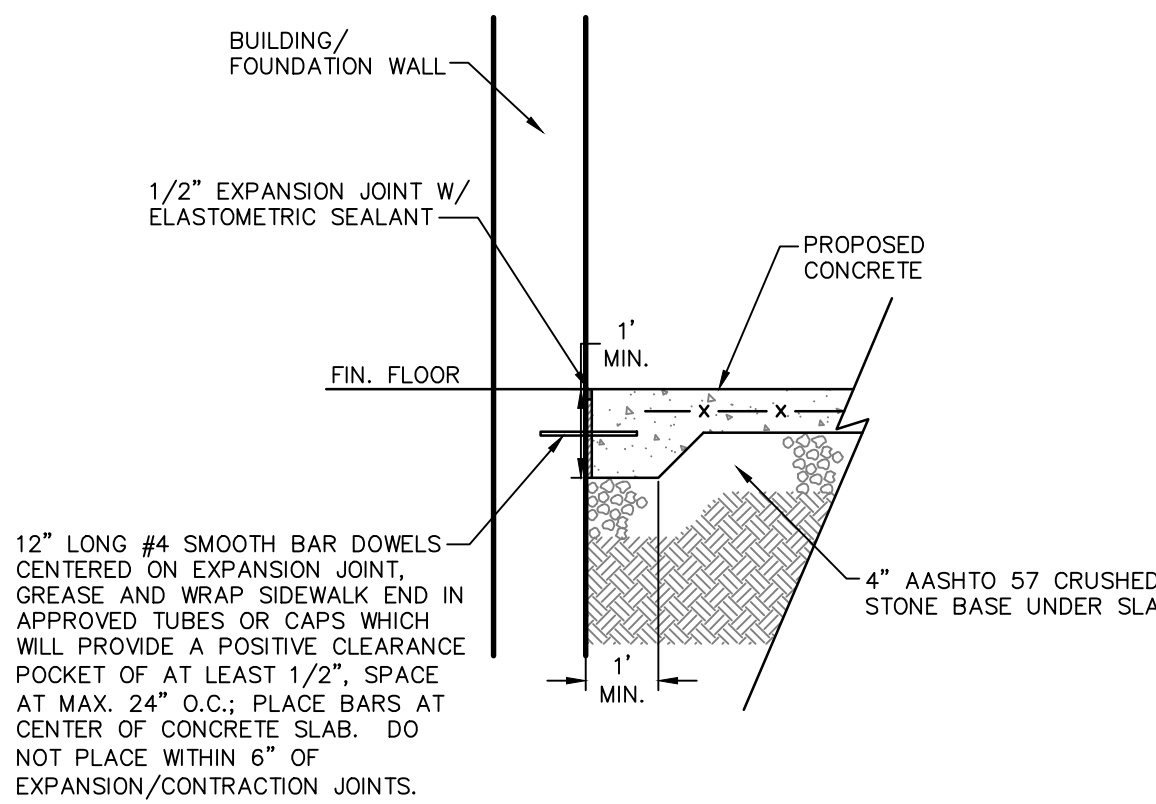
SITE INFORMATION SIGNAGE, ADA SIGN MOUNTED TO BUILDING

6 8 NOT TO SCALE



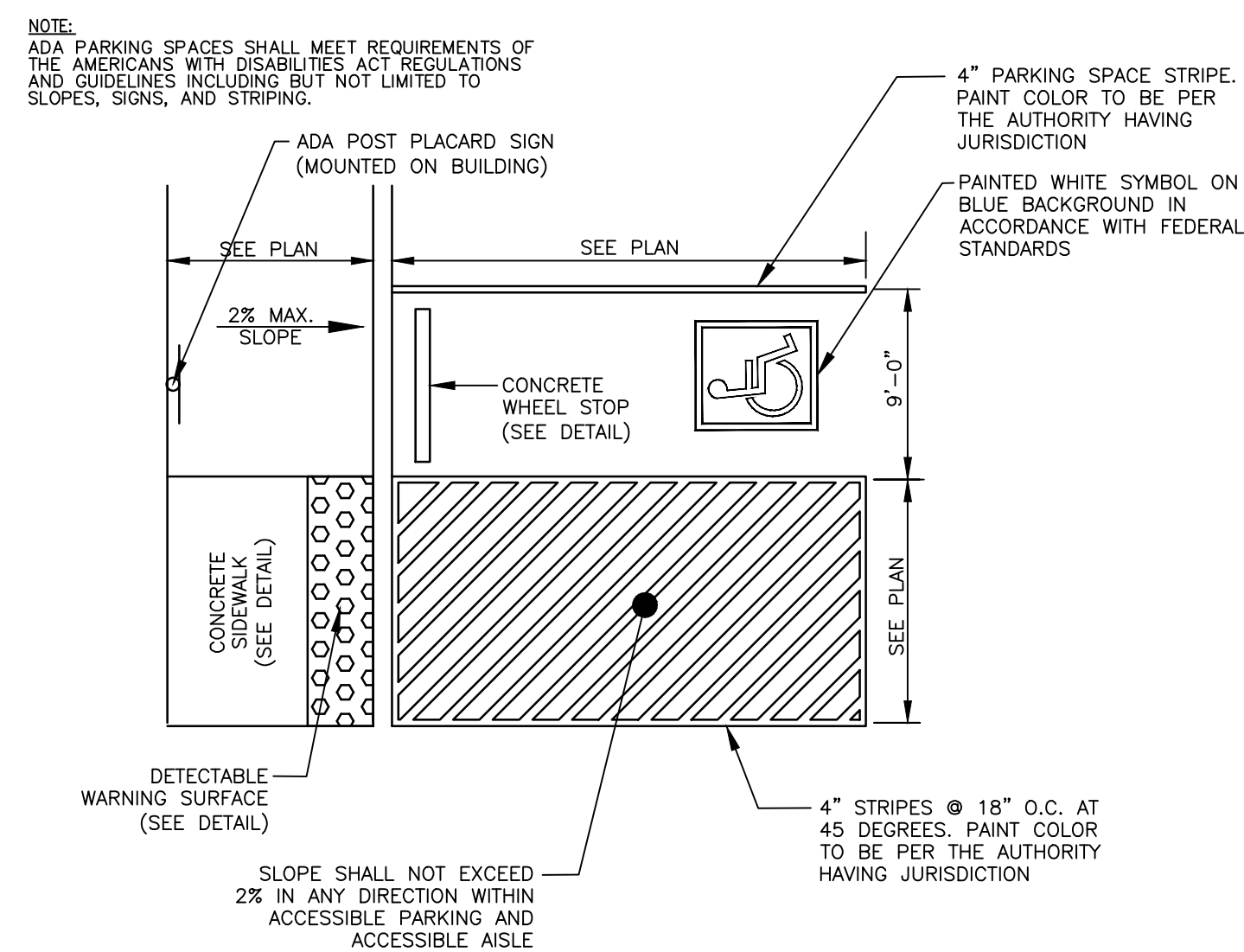
CONCRETE BOLLARD

7 8 NOT TO SCALE



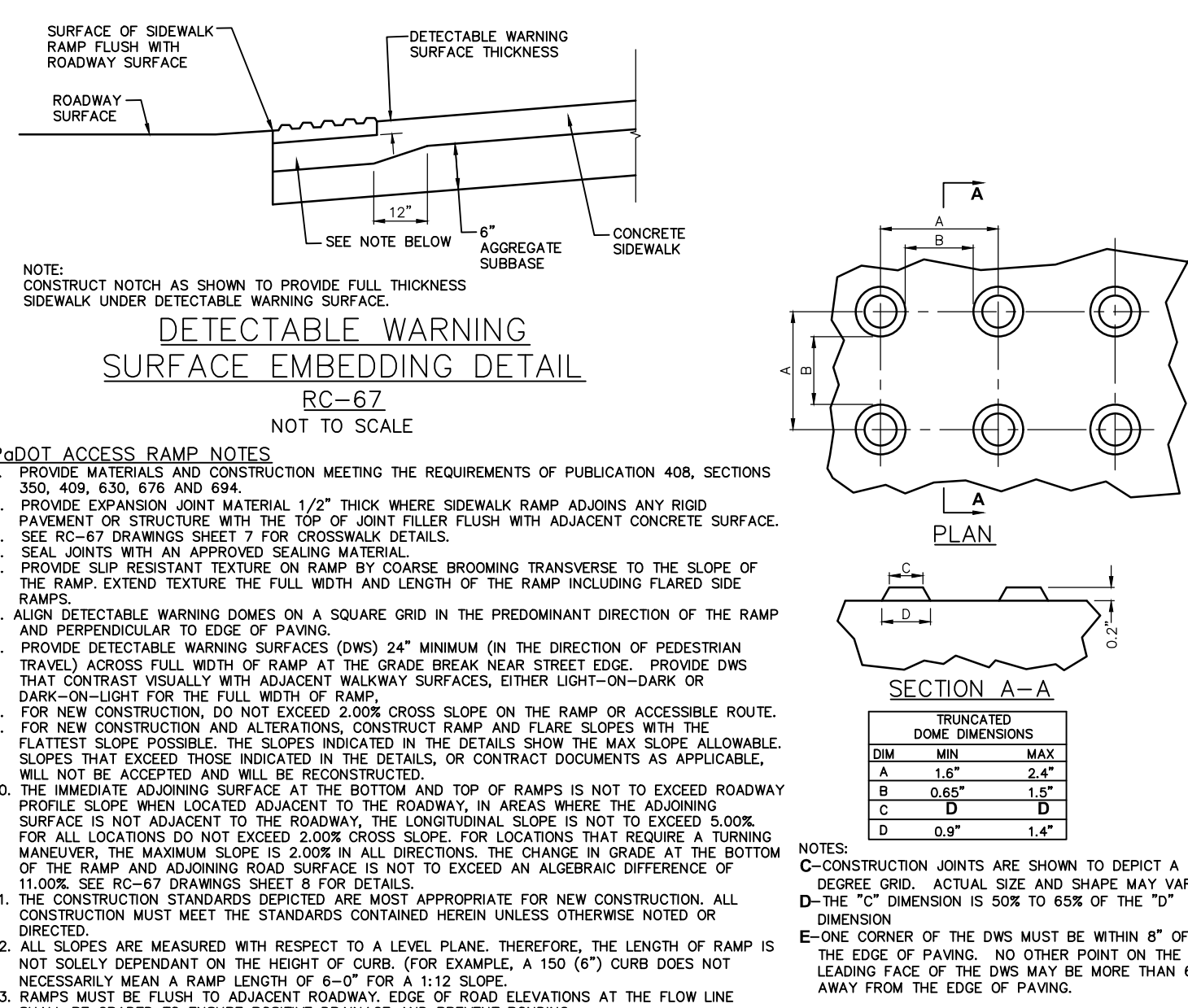
TYPICAL SIDEWALK SECTION AT BUILDING AND THRESHOLDS

8 8 NOT TO SCALE



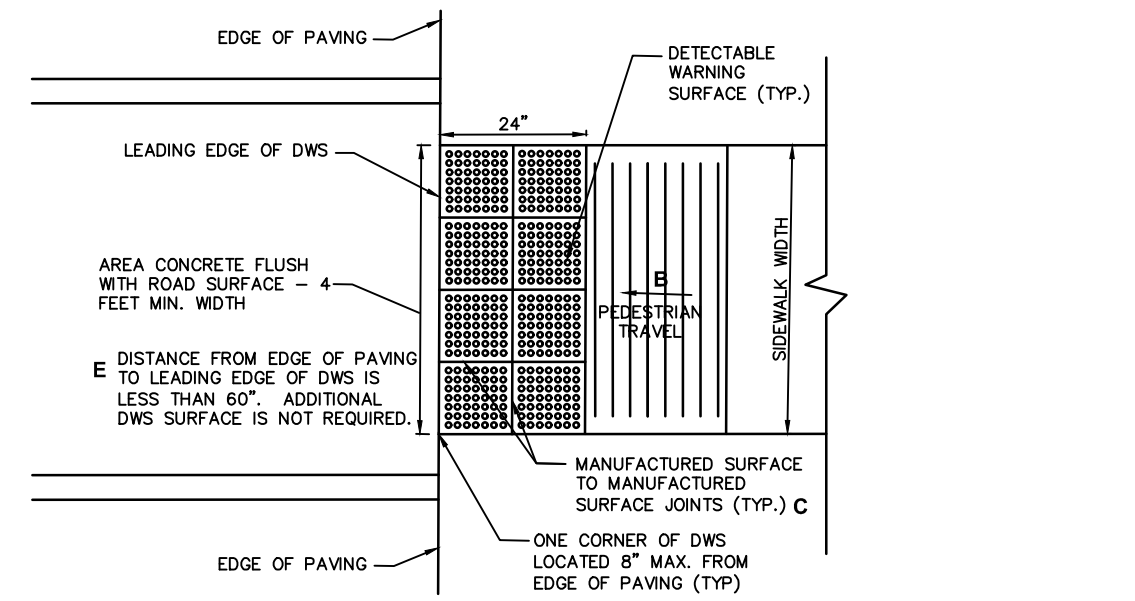
ADA PARKING

9 8 NOT TO SCALE



DETECTABLE WARNING SURFACE (DWS) TRUNCATED DOME - RC-67

10 8 NOT TO SCALE



DETECTABLE WARNING SURFACE (DWS) AT CONCRETE WALKWAY - RC-67

11 8 NOT TO SCALE

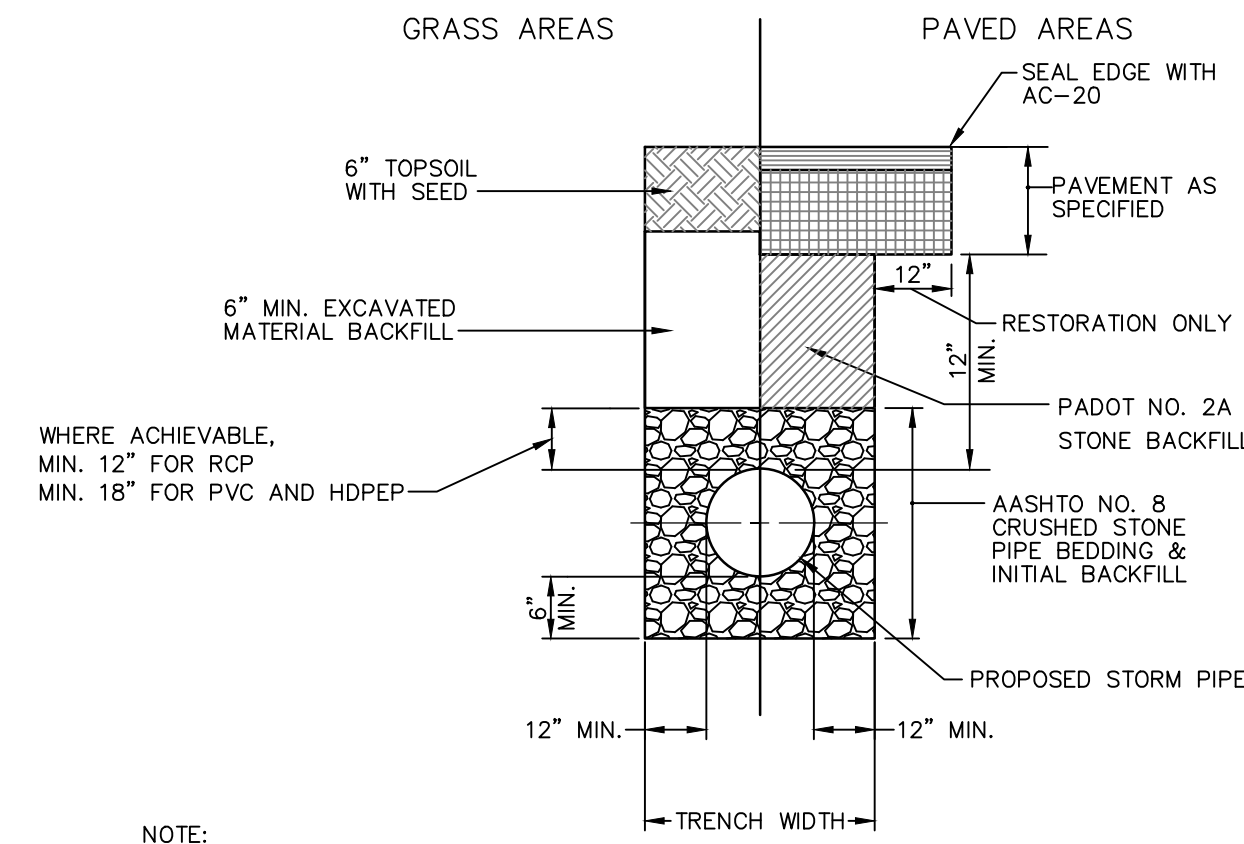
| NO | BY | DATE | REVISION |
|----|-----|------------|----------------------------------|
| 1 | BRK | 02/10/2026 | PER TWP ENGINEER REVIEW COMMENTS |
| 2 | NAB | 02/10/2026 | PER TWP ENGINEER REVIEW COMMENTS |

CLIENT
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
 610 J. MARC HERSHEY
 380 W. BAINBRIDGE STREET
 ELIZABETHTOWN PA 17022
 717-361-8220

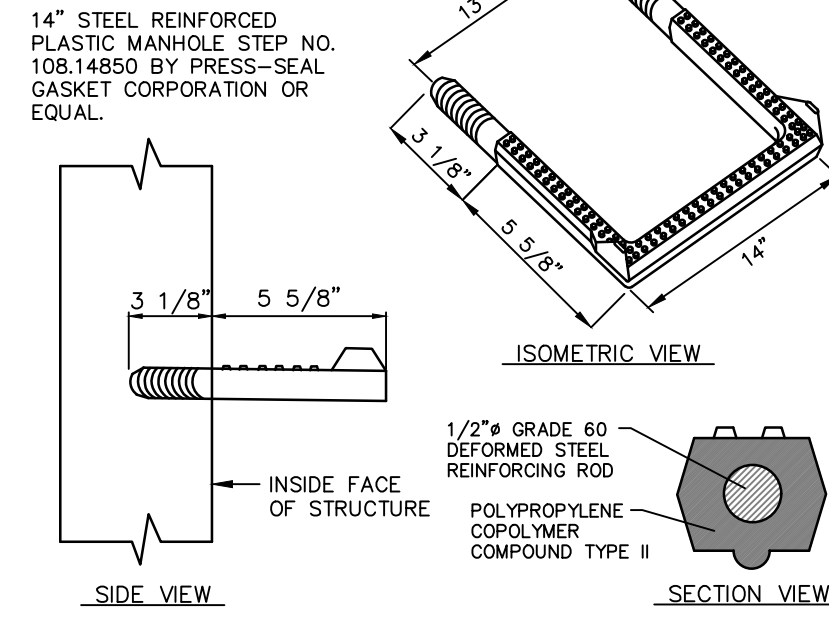
PROJECT TITLE
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
 MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA



| | |
|-----------------------------------|--------------------|
| DRAWN BY: BRK | CHECKED BY: SPG |
| DATE: FEBRUARY 9, 2026 | |
| PROJECT NO.: 251195-001 | |
| SHEET: 8 OF 11 | |



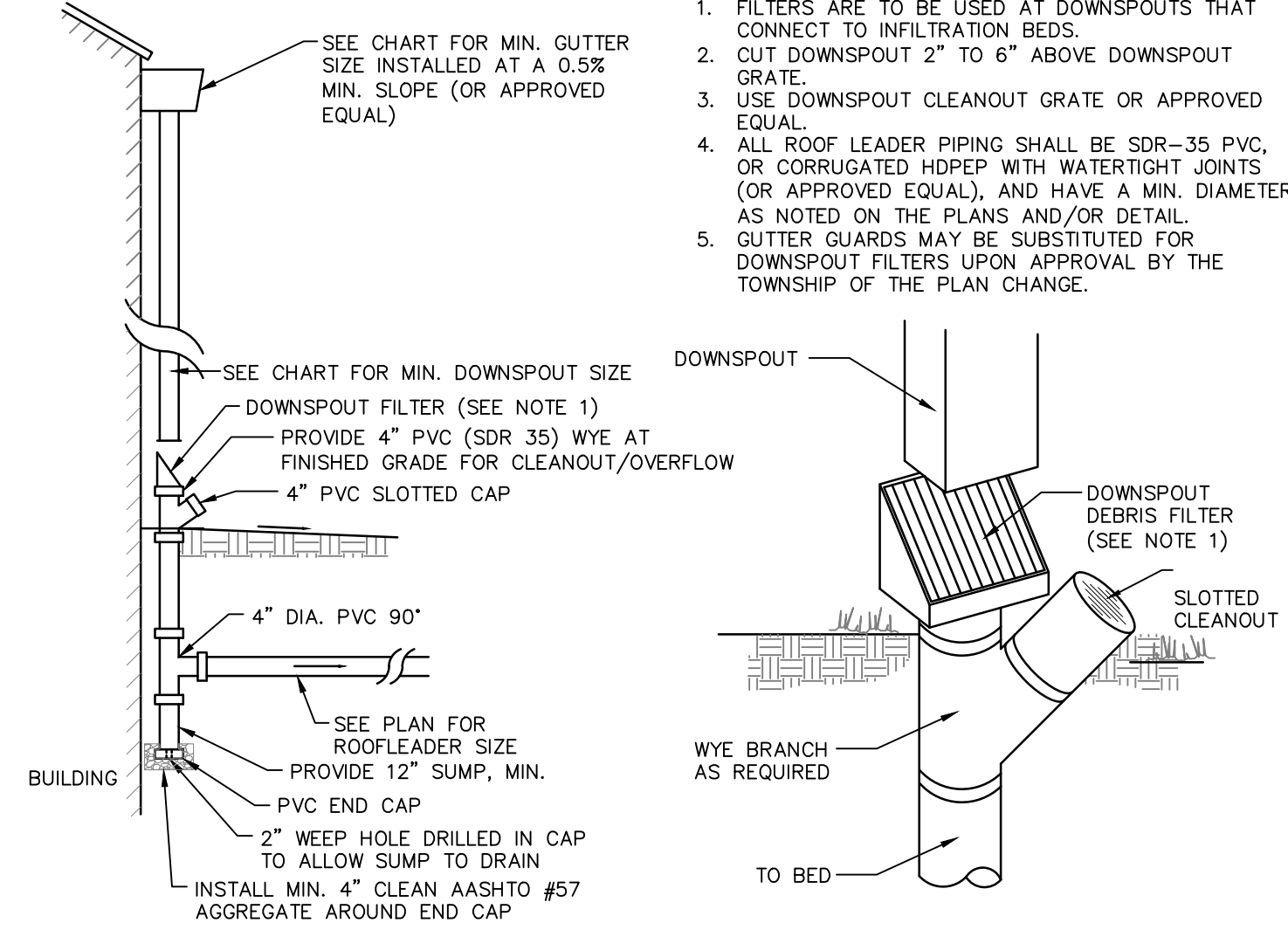
NOTE:
WHEN PIPES ARE TO BE INSTALLED IN FILL CONDITION, THE PLACEMENT OF FILL MATERIAL SHALL BE AS FOLLOWS:
A. THE SOIL SHALL BE PLACED IN LOOSE LAYERS NO GREATER THAN 8 INCHES THICK AND THEN COMPACTED WITH APPROPRIATE COMPACTATION EQUIPMENT.
B. NO FILL PLACEMENT SHALL TAKE PLACE DURING WET WEATHER AND NO FILL SHALL BE PLACED ON A FROZEN SUBGRADE.



STEP SPECIFICATIONS:
STEPS SHALL BE 1/2" GRADE 60 DEFORMED STEEL REINFORCING ROD CONFORMING TO ASTM A615 AND COMPLETING ENCAPSULATED IN POLYPROPYLENE COPOLYMER COMPOUND TYPE II CONFORMING TO ASTM D4101.

STEP INSTALLATION:
STEPS SHALL BE CAST IN-PLACE BY THE MANUFACTURER. STEPS SHALL BE ALIGNED VERTICALLY NOT MORE THAN 12" ON CENTER. STEPS SHALL NOT BE LOCATED OVER ANY FLOW CHANNEL.

| MAX. ROOF AREA | GUTTER SIZE (MIN.) | DOWNSPOUT SIZE (MIN.) |
|----------------|--------------------|-----------------------|
| 640 SF | 4.0"H x 4.0"W | 3" x 4" |



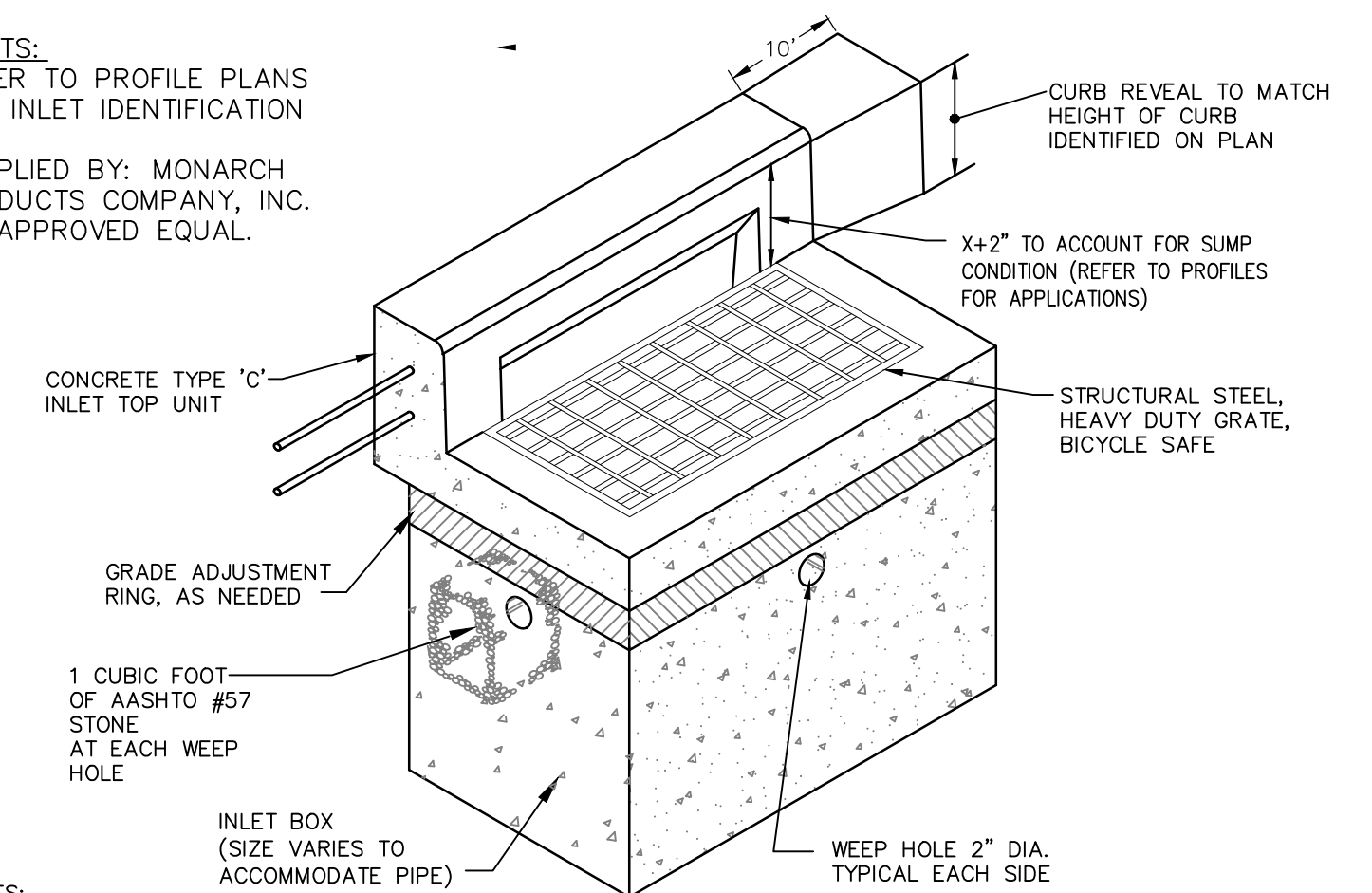
GUTTER, ROOF DRAIN CONNECTION AND DOWNSPOUT FILTER

WWW.GUTTERSUPPLY.COM
4" DOWNSPOUT CLEANOUT GRATE
- 3X4X4
- BLACK PLASTIC
- GRATE MEASUREMENT IS 6"W X 7.5" L

- NOTES:**
- FILTERS ARE TO BE USED AT DOWNSPOUTS THAT CONNECT TO INFILTRATION BEDS.
 - CUT DOWNSPOUT 2" TO 6" ABOVE DOWNSPOUT GRATE.
 - USE DOWNSPOUT CLEANOUT GRATE OR APPROVED EQUAL.
 - ALL ROOF LEADER PIPING SHALL BE SDR-35 PVC OR CORRUGATED HDPEP WITH WATERTIGHT JOINTS (OR APPROVED EQUAL), AND HAVE A MIN. DIAMETER AS NOTED ON THE PLANS AND/OR DETAIL.
 - GUTTER GUARDS MAY BE SUBSTITUTED FOR DOWNSPOUT FILTERS UPON APPROVAL BY THE TOWNSHIP OF THE PLAN CHANGE.

INLETS:
REFER TO PROFILE PLANS FOR INLET IDENTIFICATION

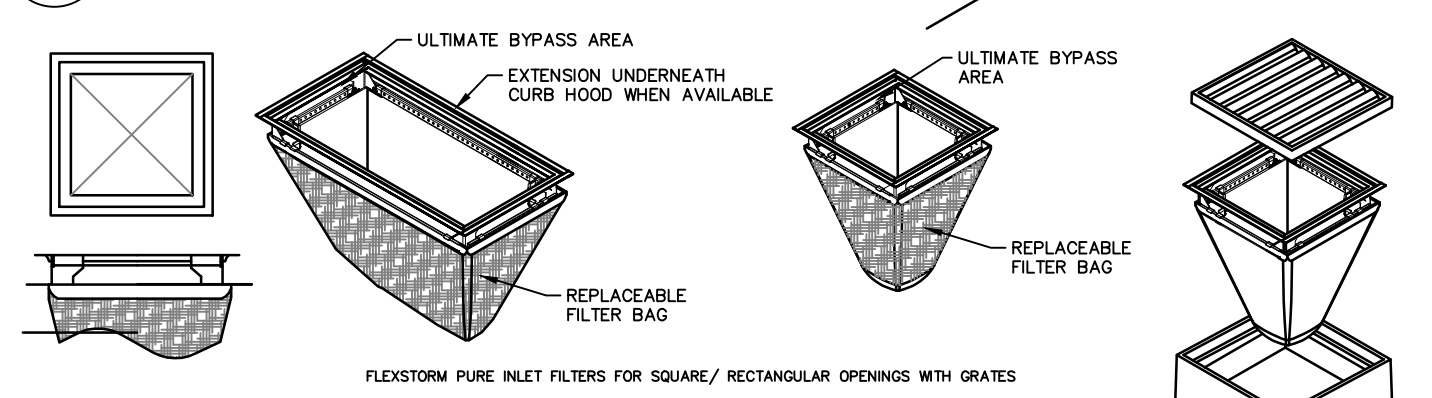
SUPPLIED BY: MONARCH PRODUCTS COMPANY, INC. OR APPROVED EQUAL.



- NOTES:**
- THIS STANDARD DEPICTS THE SHAPE AND DIMENSIONS REQUIRED FOR UNIFORMITY AND COMPATIBILITY. IT IS NOT INTENDED TO SHOW THE DETAILS REQUIRED FOR MANUFACTURING AND HANDLING. ONLY THOSE ITEMS WHICH ARE SUPPLIED BY AN APPROVED MANUFACTURER AS LISTED IN PA BULLETIN NO. 15 WILL BE PERMITTED.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PADOT PUBLICATION 408, SECTION 605 & STANDARDS FOR ROADWAY CONSTRUCTION AND PADOT BUREAU OF DESIGN STANDARDS RC-45M* & RC-46MS* OR MODIFIED TOPS.
 - CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES.
 - THE SELECTION OF COMPONENTS TO ACHIEVE A SPECIFIED INLET TYPE IS THE CONTRACTOR'S RESPONSIBILITY.
 - CONCRETE TOP UNITS WHICH SEAT THE GRATE DIRECTLY WITHIN THE UNIT SHALL UTILIZE 1-1/4" X 1-1/4" ANGLES EMBEDDED IN THE CONCRETE AS BEARING AREA FOR THE GRATE.
 - INLET BOX SHALL BE PRECAST CONCRETE.
 - GRADE ADJUSTMENT RINGS MAY BE OF PRECAST CONCRETE CONSTRUCTION, AS APPROVED.
 - WHENEVER AN INLET IS REQUIRED WITHIN A MOUNTABLE CURB SECTION, A TYPE M INLET WILL BE LOCATED ADJACENT TO THE BACK EDGE OF THE CURB AND WILL BE FLUSH WITH THE PAVEMENT SURFACE. SEE PADOT RC-55M FOR INSTALLATION DETAILS (WHERE APPLICABLE).
 - PIPES SHALL BE LOCATED INTO & OUT OF INLET BOXES AS REQUIRED TO AVOID PRE-CASTING OPENINGS IN INLET BOX AT CORNERS. THE PRECAST COMPANY SHALL PROVIDE SHOP DRAWINGS TO CONFIRM THAT THE BOX IS ADEQUATELY SIZED TO PROPERLY ACCEPT PIPING.
 - ALL DRAINAGE STRUCTURES SHALL HAVE POURED-IN-PLACE CONCRETE CHANNEL BOTTOM, AND FALL SHALL BE MAINTAINED TOWARD OUTLET UNLESS OTHERWISE NOTED.
 - PROPOSED INLETS SHALL BE CAPABLE OF HANDLING AN HS-20 LOADING.

TYPE 'C' INLET

1 9 STORM PIPE TRENCH NOT TO SCALE



| FLEXSTORM PERMANENT FRAME WITH REPLACEABLE PURE FILTER BAG FOR POST CONSTRUCTION (PC) | | |
|---|-------------------------|--------------------|
| FOR RECTANGULAR / SQUARE OPENINGS WITH GRATES | | |
| Clear Drop Thru Opening Size (not grate size) | Flexstorm Frame/Bag P/N | Typical Inlet Size |
| Small: 12"x12" Up to 16"x16" (or 64" max Perimeter) | 62SHD-PC | 12"x12"/16"x16" |
| Medium: 16"x16" Up to 24"x24" (or 96" max Perimeter) | 62MHD-PC | 24"x24" |
| Large: 24"x24" Up to 30"x30" (or 120" max Perimeter) | 62LHD-PC | 48"x24" |
| XL: 32"x32" Up to 48"x48" (or 192" max Perimeter) | 62XLHD-PC | 48"x48" |

- INSTALLATION NOTES:**
- REMOVE GRATE.
 - MOUNT INLET FILTER FRAME ONTO LOAD BEARING LIP OF CASTING OR CONCRETE STRUCTURE. INSTALL REPLACEABLE BAG ONTO FRAME.
 - REPLACE GRATE.
- MANUFACTURER NOTES:**
- ALL FRAMING IS CONSTRUCTED OF 304 STAINLESS STEEL FOR 25 YEAR SERVICE LIFE RATING.
 - TOTAL BYPASS CAPACITY: BYPASS CAPACITY WILL VARY WITH EACH SIZE DRAINAGE STRUCTURE. FLEXSTORM DESIGNS FRAMING BYPASS TO MEET OR EXCEED THE DESIGN FLOW OF THE PARTICULAR DRAINAGE STRUCTURE.
 - UPON ORDERING CONFIRMATION OF THE DOT CALLOUT, PRECAST OR CASTING MAKE AND MODEL, OR DETAILED DIMENSIONAL FORMS MUST BE PROVIDED TO CONFIGURE AND ASSEMBLE YOUR CUSTOMIZED FLEXSTORM INLET FILTER. PART NUMBER ALONE IS NOT SUFFICIENT.
 - FOR WRITTEN SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.ADSPPIPE.COM (ADS, INC., 866-287-8655)

INLETS:
I-A1, I-A2

CONTRACTOR TO VERIFY REQUIRED FLEXSTORM FRAME AND BAG UNIT SIZES FOR ALL INLETS PRIOR TO ORDERING

PERMANENT STAINLESS STEEL INLET FILTER FRAME WITH REPLACEABLE PURE INLET FILTER BAG

5 9 NOT TO SCALE

| NO. | DATE | REVISION |
|-----|------------|---|
| 1 | 03/10/2026 | PER TWP. ENGINEER REVIEW COMMENTS |
| 2 | 03/10/2026 | PER TWP. ENGINEER & AUTHORITY REVIEW COMMENTS |

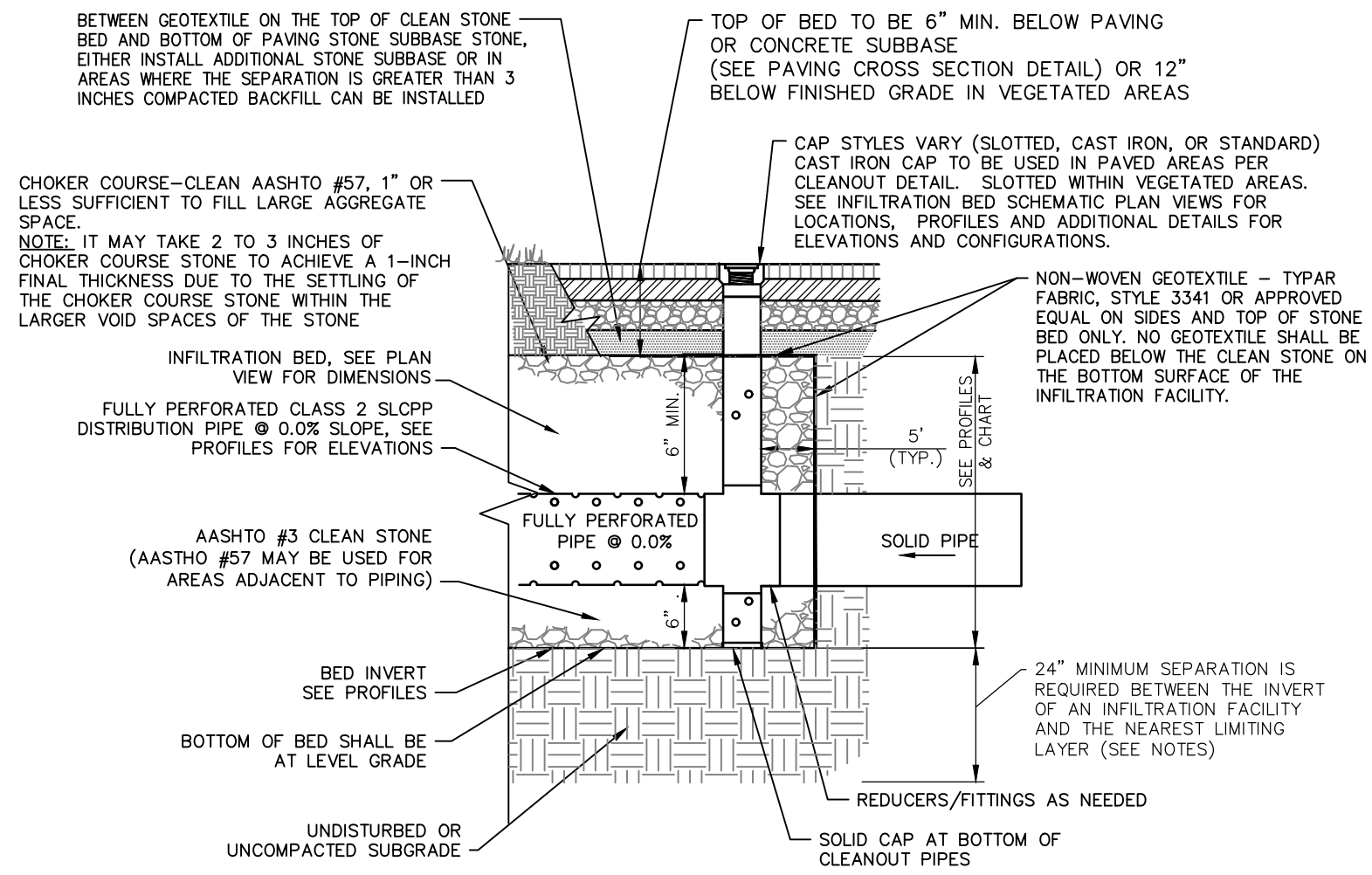
CLIENT:
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY

CONTACT:
C/O J. MARC HERSHEY
380 W. BAINBRIDGE STREET
ELIZABETHTOWN PA 17022
717-361-8220

PROJECT TITLE:
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION

LOCATION:
MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA





| FACILITY I.D. | STONE DEPTH | BED AND PERF. PIPE INVERTS | BED DIMENSIONS | MIN. BED AREA | MIN. BED STORAGE VOLUME |
|--------------------------|-------------|----------------------------|----------------|---------------|-------------------------|
| BMP 1 - INFILTRATION BED | 2.00 FT | SEE PROFILE | SEE SCHEMATIC | 4,032 SF | 3,226 CF |

- MINIMUM SEPARATION BETWEEN INFILTRATION FACILITY INVERT AND NEAREST LIMITING ZONE NOTES:**
- 24" MINIMUM SEPARATION IS REQUIRED BETWEEN THE INVERT OF AN INFILTRATION FACILITY AND THE NEAREST LIMITING ZONE LAYER (e.g. BEDROCK, HIGH GROUNDWATER TABLE, ETC.)
 - TO VERIFY THE 24" SEPARATION, PROBE WITH A METAL ROD UPON EXPOSURE TO SUBGRADE. IF BEDROCK IS ENCOUNTERED, IT SHALL BE REMOVED TO WITHIN 24" OF THE BOTTOM OF THE FACILITY AND REPLACED WITH ENGINEERED SOIL PER THE "SUBGRADE REPAIR UNDER INFILTRATION BED" DETAIL.

INFILTRATION BED 1 WITH DISTRIBUTION PIPING (BELOW ASPHALT)

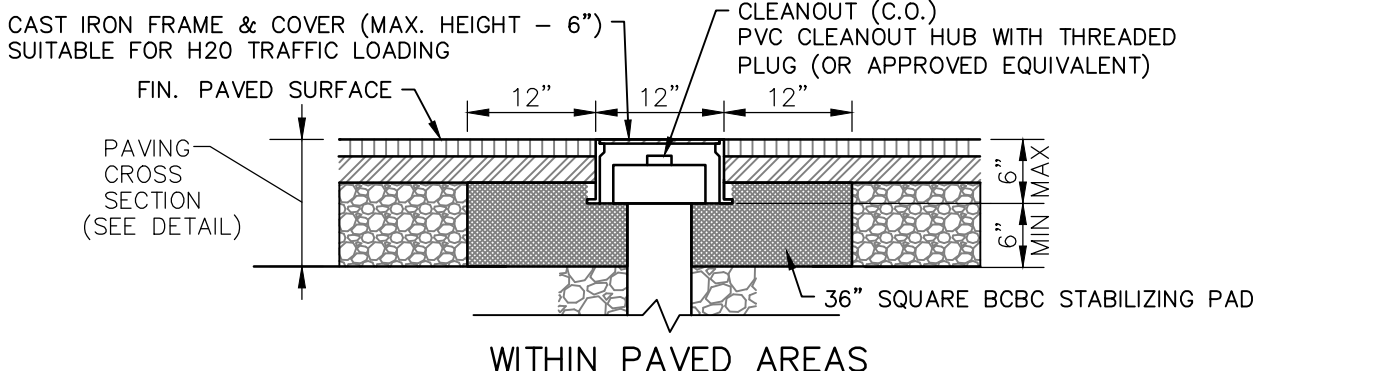
1
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NOT TO SCALE

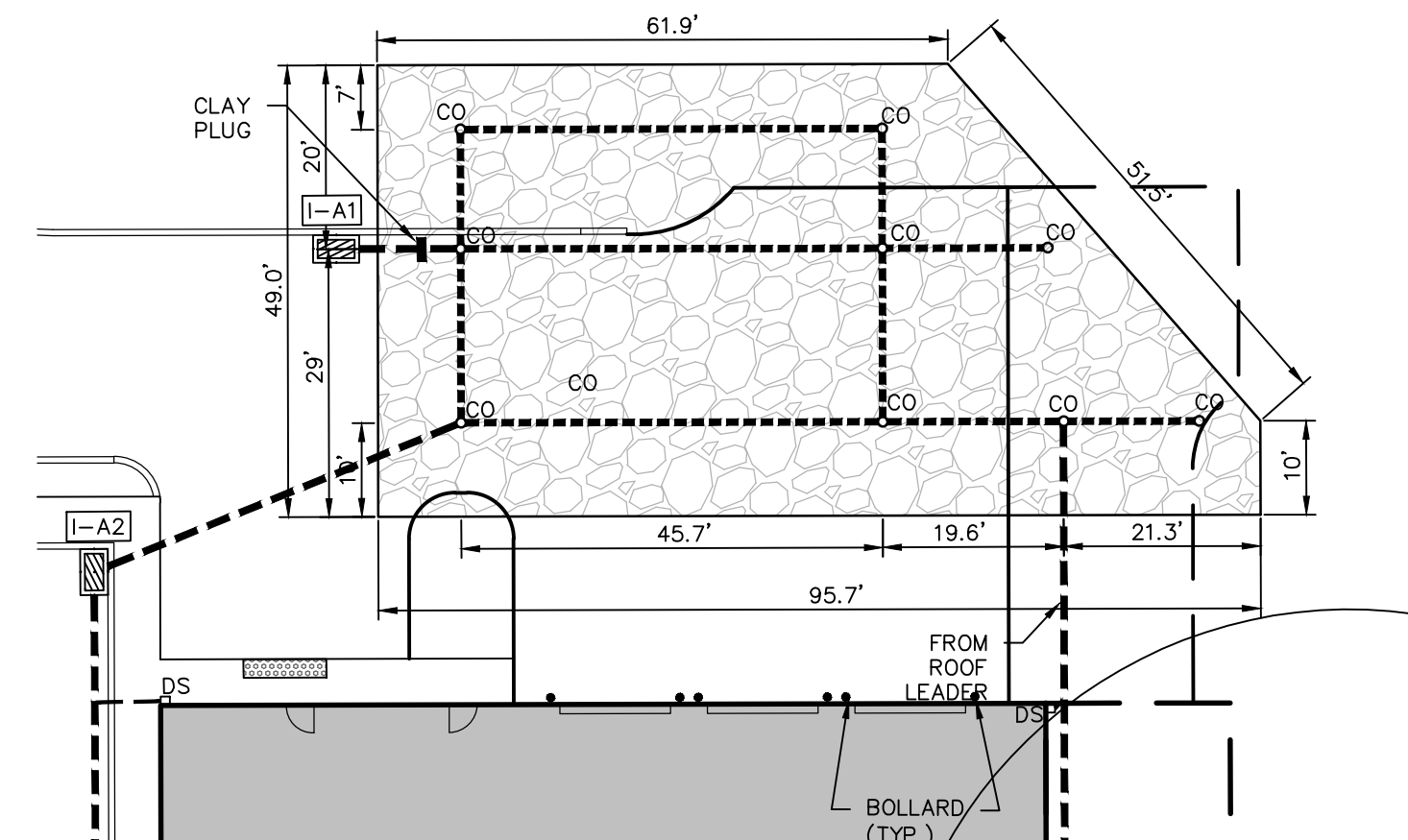
2
10

SUBGRADE REPAIR UNDER INFILTRATION FACILITY (IF ROCK OR LIMITING MATERIAL IS ENCOUNTERED)

NOT TO SCALE



WITHIN PAVED AREAS



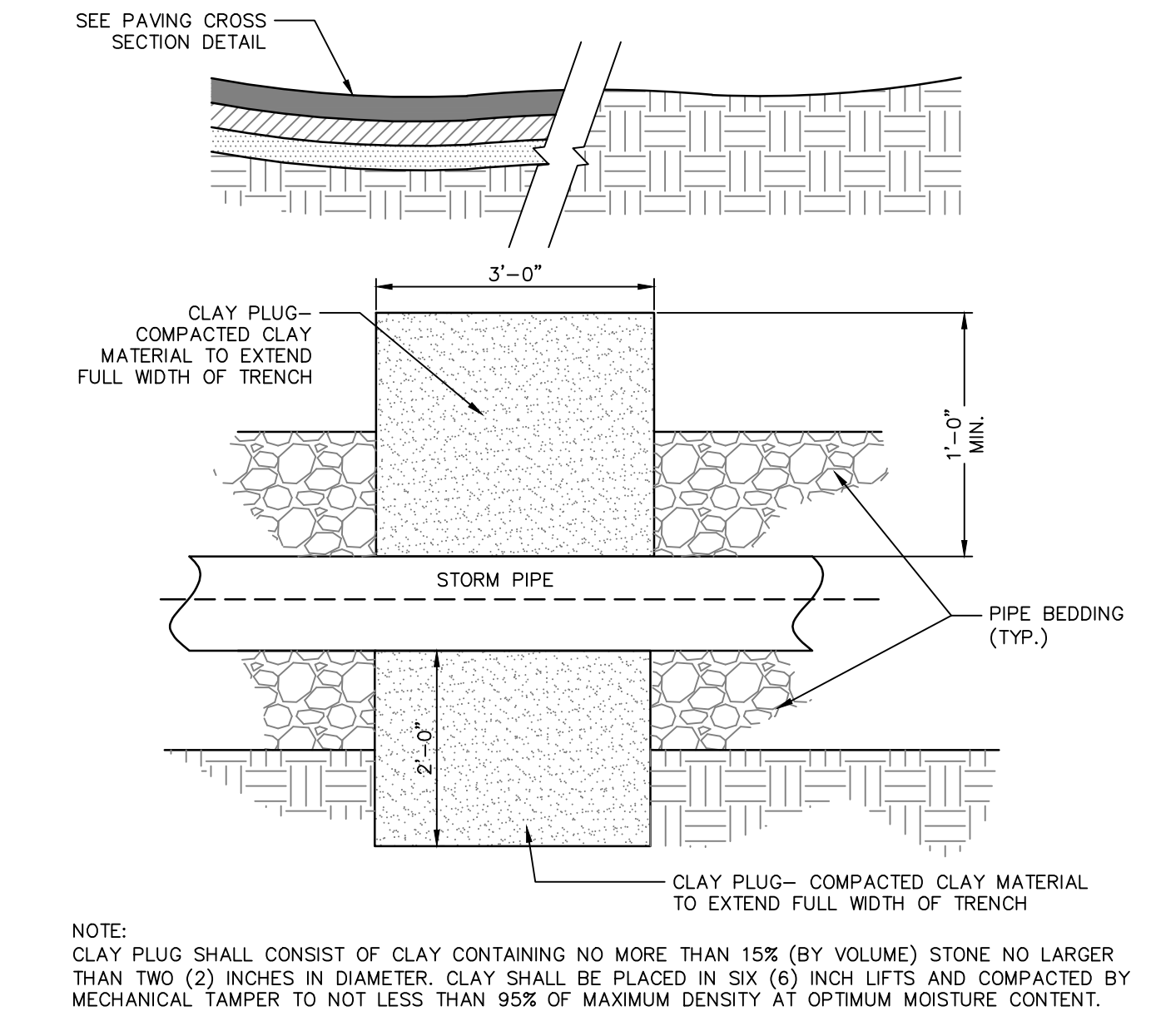
INFILTRATION BED - SCM 1 SCHEMATIC PLAN VIEW

3
10

4
10

STORM SEWER CLEANOUT

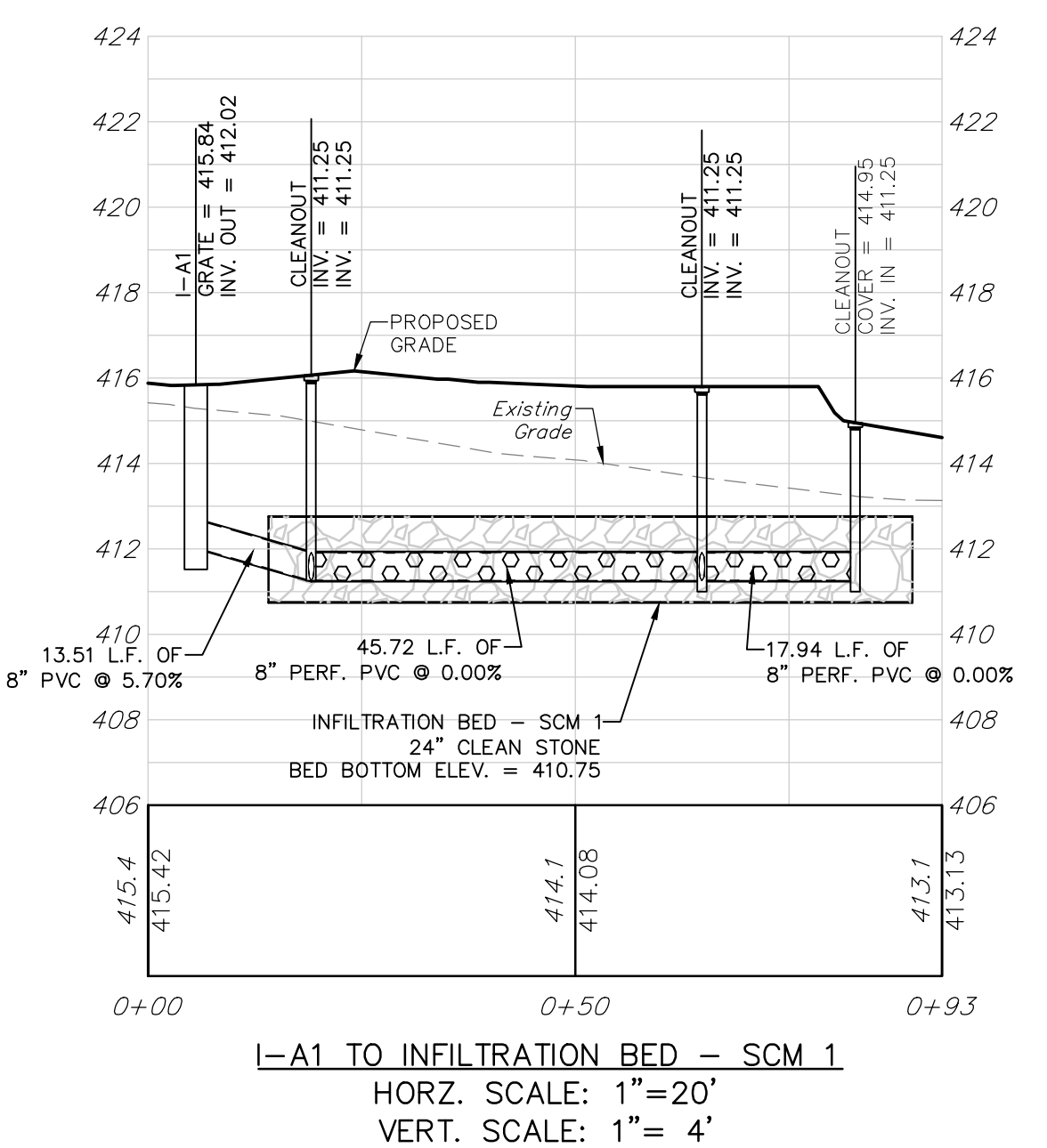
NOT TO SCALE



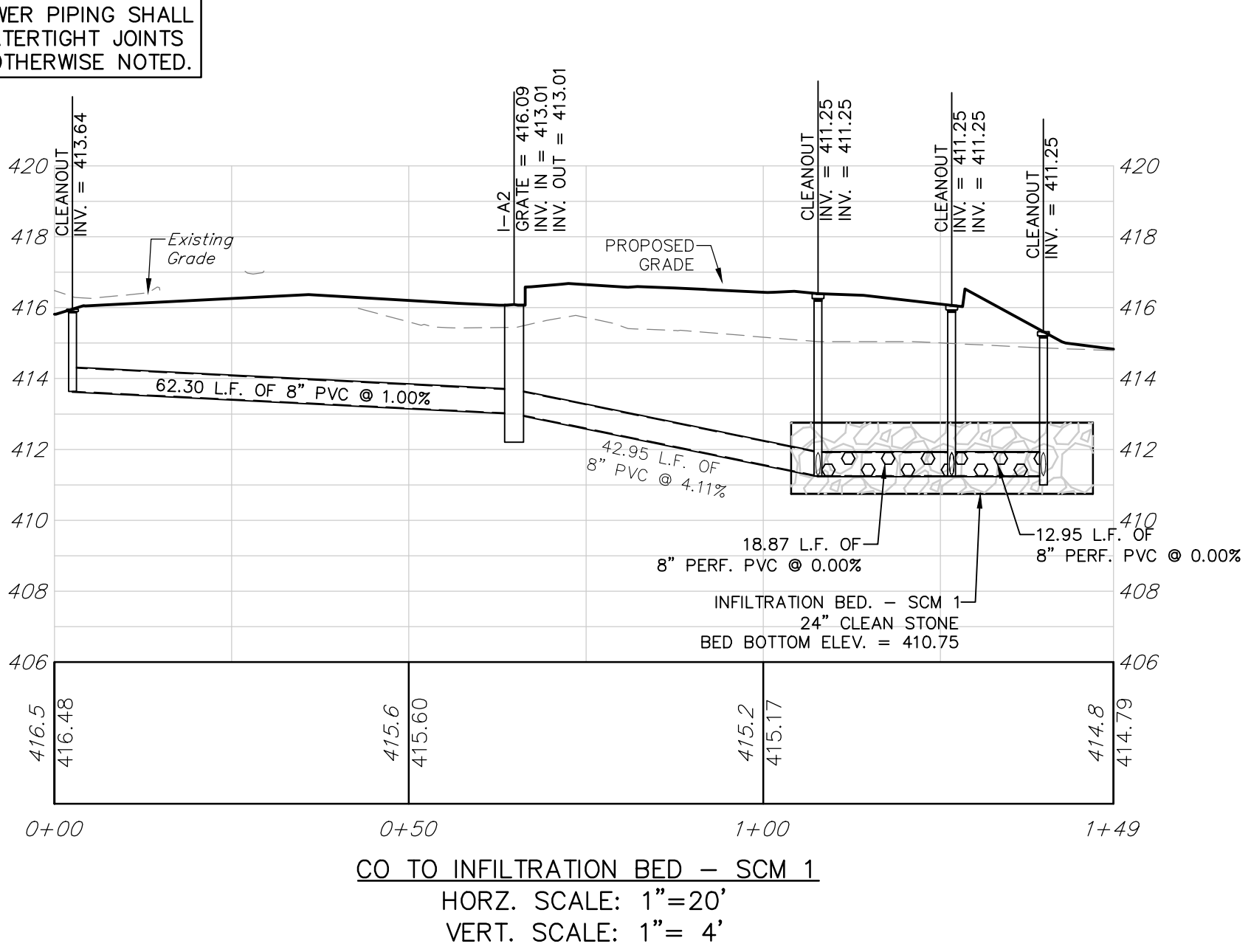
CLAY PLUG PIPE CONNECTIONS INTO INFILTRATION BED

5
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NOT TO SCALE



L-A1 TO INFILTRATION BED - SCM 1
HORZ. SCALE: 1"=20'
VERT. SCALE: 1"= 4'



CO TO INFILTRATION BED - SCM 1
HORZ. SCALE: 1"=20'
VERT. SCALE: 1"= 4'

ALL PROPOSED STORM SEWER PIPING SHALL BE CONSTRUCTED WITH WATERTIGHT JOINTS & CONNECTIONS UNLESS OTHERWISE NOTED.

6
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- NOTES:**
- AREAS OF ROCK ENCOUNTERED DURING EXCAVATION SHOULD BE INSPECTED BY A GEOLOGIST OR GEOTECHNICAL ENGINEER TO CONFIRM THE TYPE OF ROCK (NON-WEATHERED STRATA, WEATHERED STRATA, ROCK PINNACLES) AND THE PRESENCE OF KARST FEATURES. THIS INSPECTION IS TO DETERMINE IF THIS DETAIL IS APPROPRIATE, OR IF THERE ARE ANY KARST FEATURES PRESENT THAT WOULD REQUIRE A DIFFERENT TYPE OF REPAIR AS REFERENCED IN THE "TYPICAL SINKHOLE REPAIR DETAILS".
 - A GEOLOGIST OR GEOTECHNICAL ENGINEER SHOULD INSPECT THE SUBGRADE PRIOR TO INSTALLING GEOTEXTILE AND THE BACKFILLING WITH SILT LOAM RELATED TO THE SUB-GRADE REPAIR.
 - IF AREAS OF ROCK (OR OTHER LIMITING MATERIAL) ARE REPAIRED BELOW THE INFILTRATION BED, INFILTRATION TESTING MUST BE PERFORMED AT THE TOP OF THE SILT LOAM AT A MINIMUM OF TWO INFILTRATION TESTS PER BOTTOM AREA TO CONFIRM THE INFILTRATION RATE. THE INFILTRATION TESTS SHALL BE SET AT THE TOP OF THE SILT LOAM BACKFILL PRIOR TO THE INSTALLATION OF THE INFILTRATION BED STONE. THE BENCHMARK SHALL BE SENT RESULTS FOR THEIR RECORDS. IF INFILTRATION RATES DO NOT FALL WITHIN THE ACCEPTABLE RANGE, A GEOLOGIST OR GEOTECHNICAL ENGINEER SHALL BE CONSULTED TO DETERMINE APPROPRIATE MEASURES FOR AMENDING OR MODIFYING THE SILT LOAM BACKFILL TO ACHIEVE THE DESIRED RATE. INFILTRATION TESTING MUST BE PERFORMED AGAIN TO VERIFY THAT THE RATES FALL WITHIN THE ACCEPTABLE RANGE.
 - SUBGRADE INFILTRATION TESTING PRIOR TO THE INSTALLATION OF THE SILT LOAM AND CLEAN STONE IS NOT NECESSARY FOR AREAS OF ROCK REPAIR (OR REMOVAL OF OTHER LIMITING MATERIALS).
 - REFER TO GEOLOGY NOTES ON THE NOTES SHEET FOR ADDITIONAL INFORMATION CONCERNING THE SITE GEOLOGY AND CONDITIONS THAT REQUIRE ADDITIONAL OVERSIGHT BY A PROFESSIONAL GEOLOGIST, OR CONSTRUCTION MODIFICATIONS.
 - NON-WOVEN FABRIC SHALL HAVE 5 OUNCES PER SQUARE YARD (SY) WEIGHT, OR GREATER, AND BE CAPABLE OF DRAINING 120 GALLONS PER MINUTE (GPM) OF WATER PER SQUARE FOOT (SF).
 - SILT LOAM (ON-SITE TOPSOIL) SHALL BE PROFESSIONALLY CERTIFIED PRIOR TO INSTALLATION BELOW THE INFILTRATION FACILITIES. THE NATURALLY OCCURRING TOPSOIL HAS A CATION EXCHANGE CAPACITY (CEC) OF > 10 MEQ/100 GRAMS, AND ANY MATERIAL USED AS AN ALTERNATE UNDER THE INFILTRATION FACILITIES MUST HAVE A CEC EQUAL TO THAT OF THE SITE'S TOPSOIL (AND AT LEAST > 5 MEQ/100 GRAMS).

| NO. | BY | DATE | REVISION |
|-----|-----|------------|-----------------------------------|
| 1 | BRK | 02/07/2026 | ENGINEER REVIEW COMMENTS |
| 2 | NBS | 03/03/2026 | PER TWP. ENGINEER REVIEW COMMENTS |

CLIENT
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
c/o J. MARC HERSHEY
380 W. BAINBRIDGE STREET
ELIZABETHTOWN PA 17022
717-361-6220

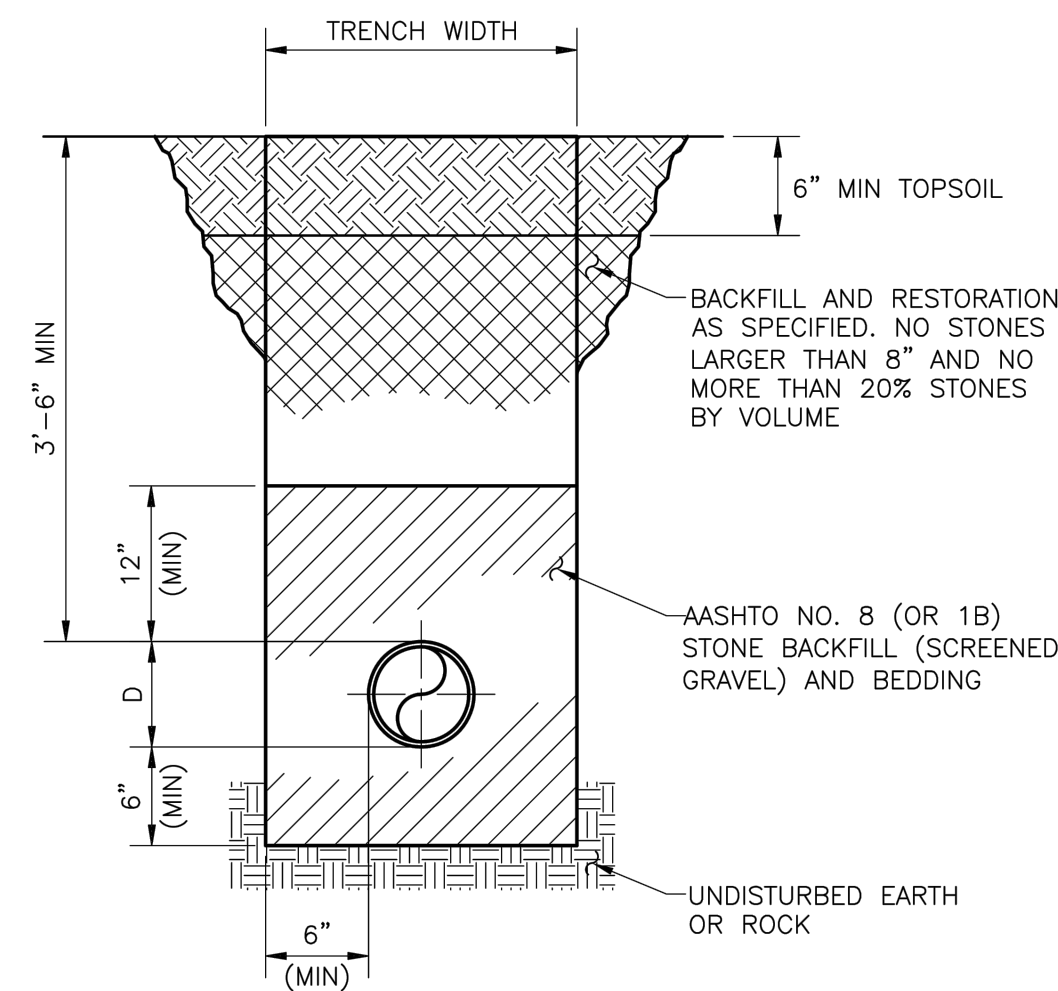
PROJECT TITLE
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

SHEET TITLE
PCSM DETAILS
AS NOTED

DRAWN BY: BRK
CHECKED BY: SPG

DATE: FEBRUARY 9, 2026
PROJECT NO.: 251195-001

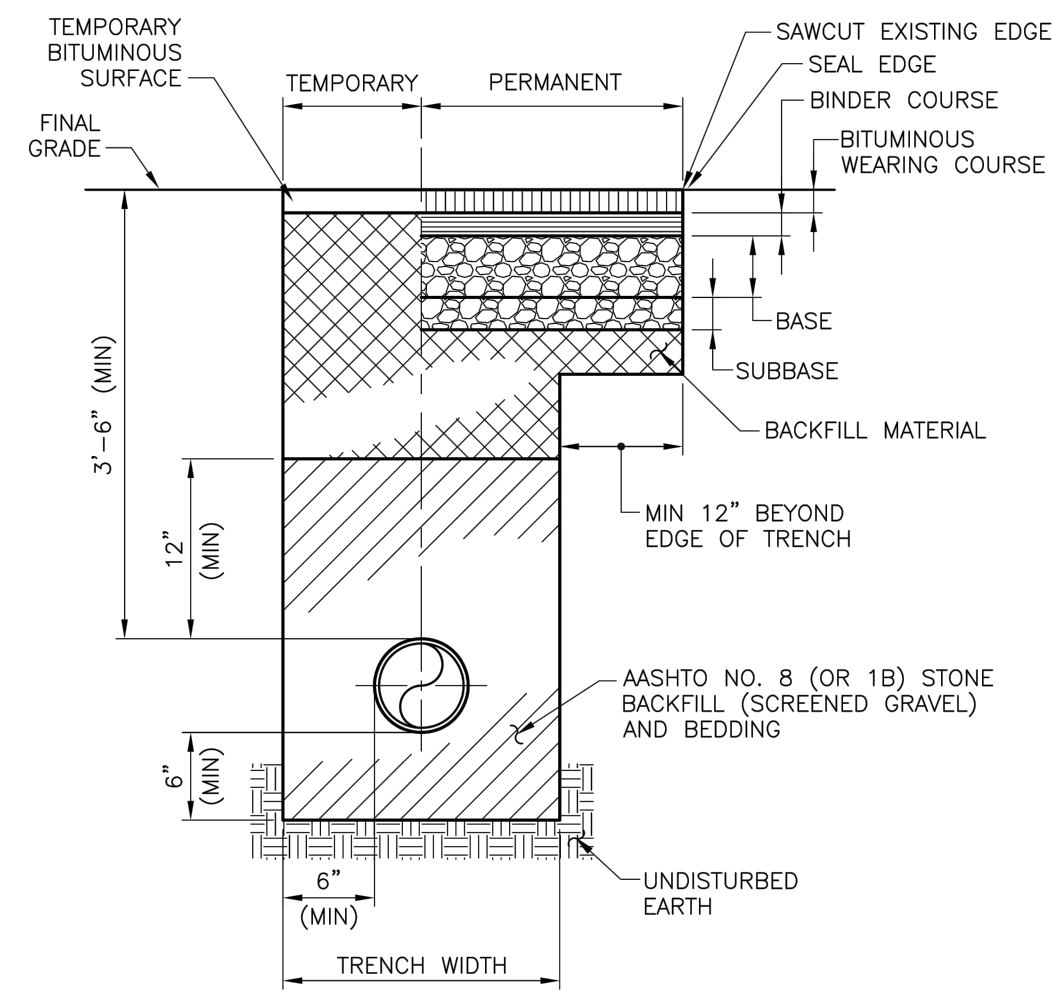
SHEET: 10 OF 11



NOTE:
TRENCH SIDE SLOPES SHALL BE IN ACCORDANCE WITH OSHA REQUIREMENTS. BEGIN SIDE SLOPES, IF USED, APPROXIMATELY 18" ABOVE TOP OF PIPE (TYPICAL ALL BEDDING TYPES).

LAWN / YARD RESTORATION (ERSA DETAIL 1)

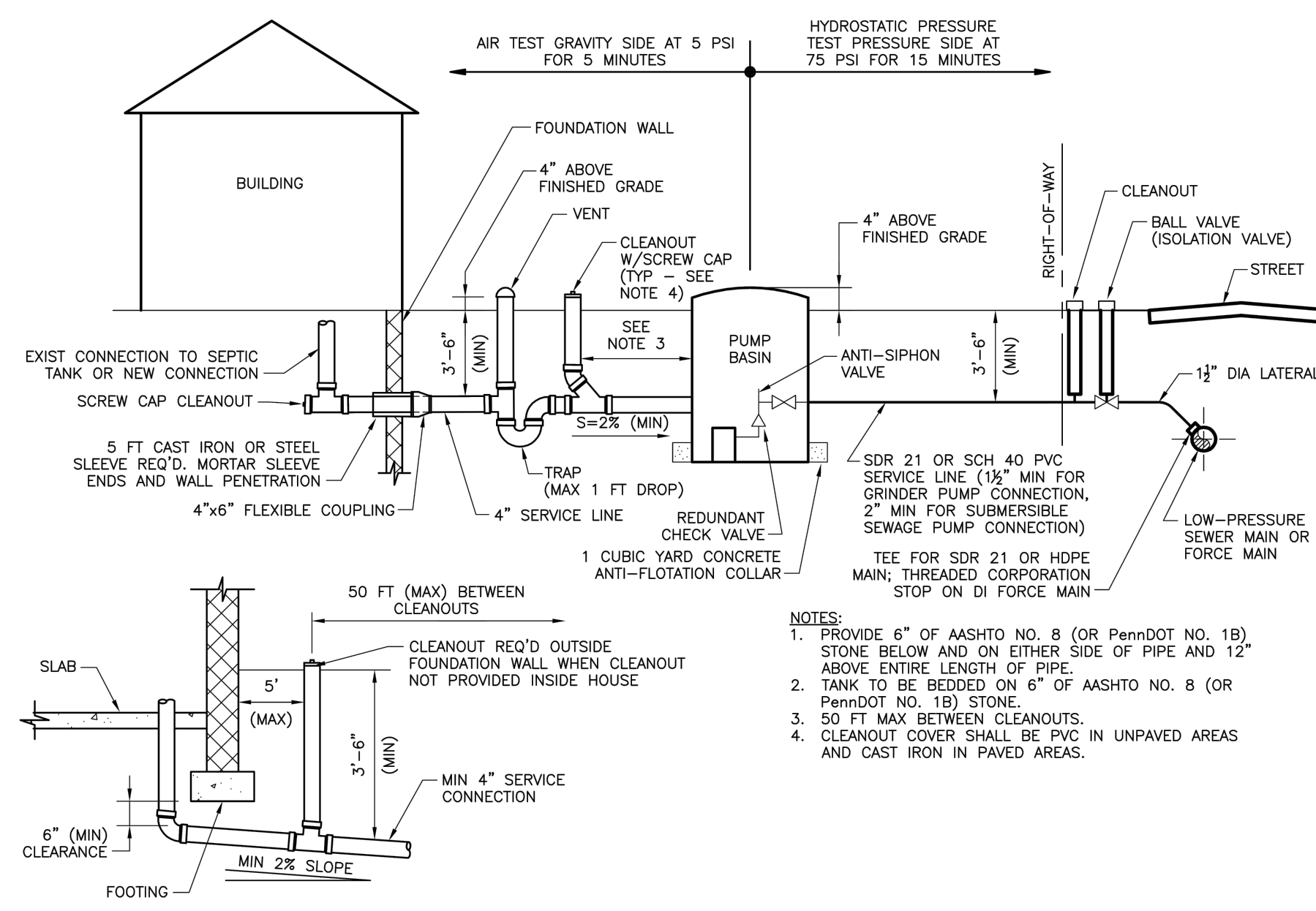
1 11 NOT TO SCALE



NOTES:
1. BACKFILL & PAVEMENT RESTORATION IN STATE ROADS SHALL BE AS SPECIFIED BY PADOT.
2. BACKFILL & PAVEMENT RESTORATION IN TOWNSHIP ROADS, ACCESS DRIVES, PARKING AREAS AND LOADING AREAS SHALL BE AS SPECIFIED IN THE GOVERNING MUNICIPAL SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

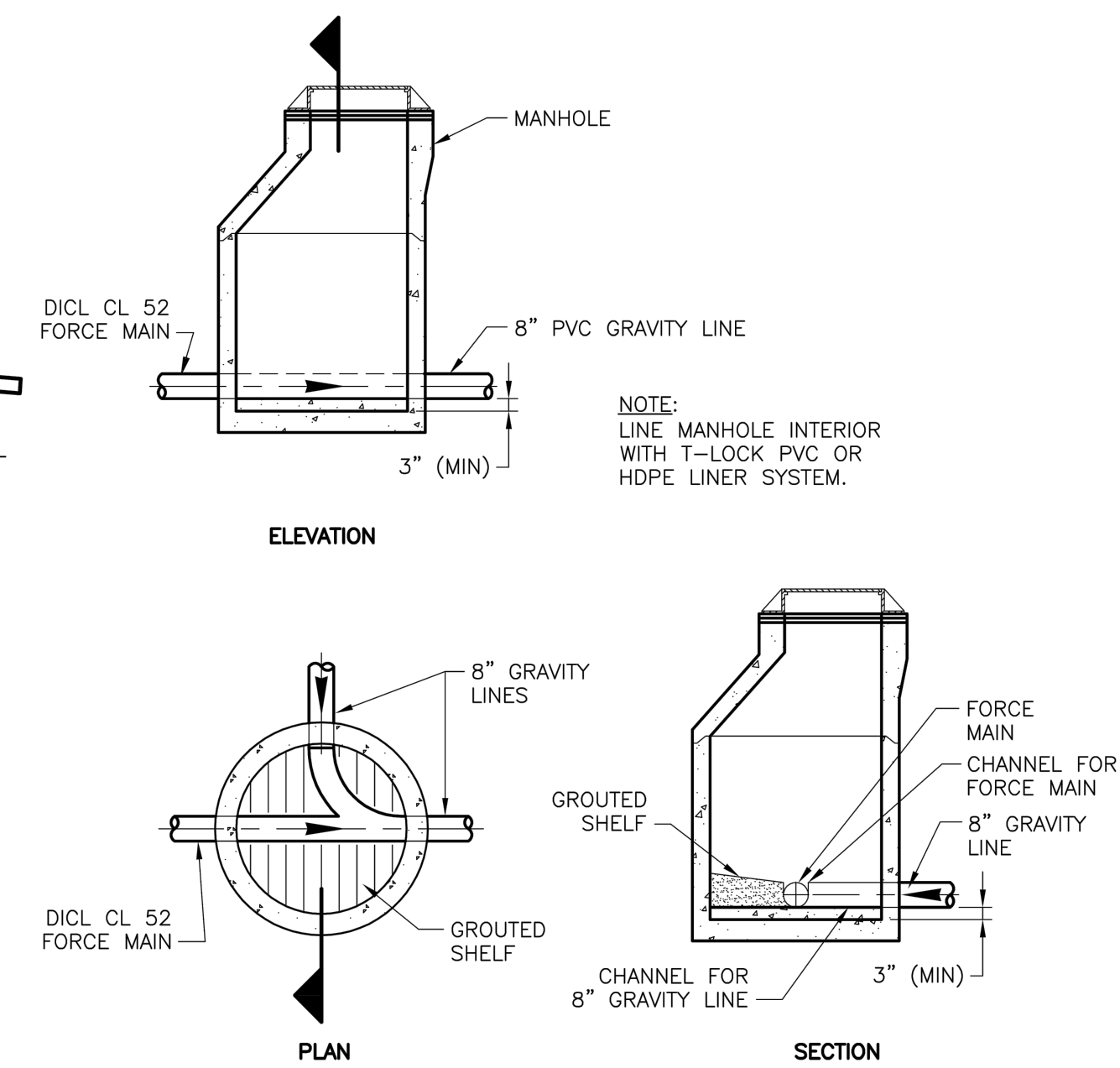
PAVEMENT RESTORATION (ERSA DETAIL 3)

2 11 NOT TO SCALE



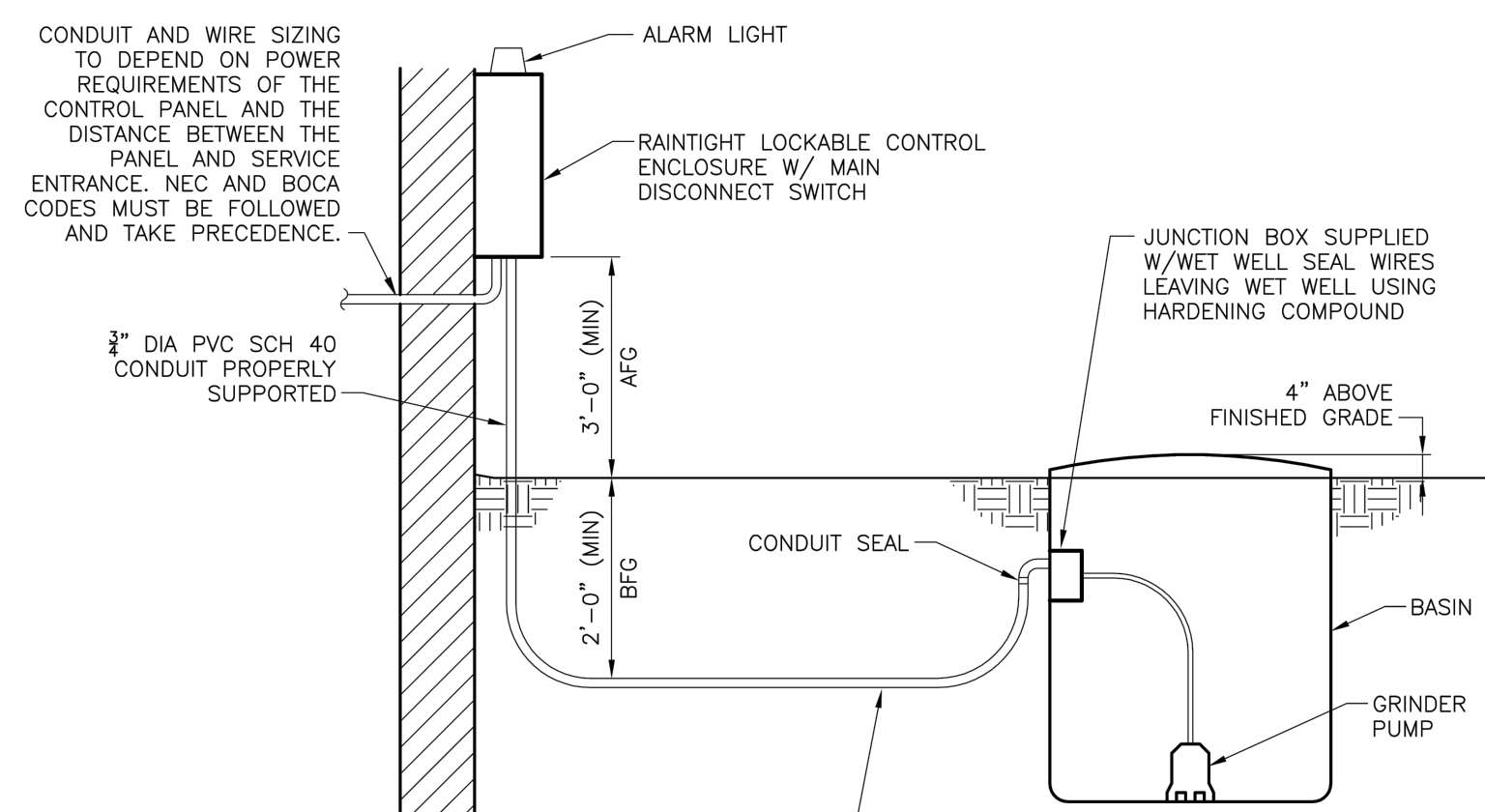
TYPICAL LOW PRESSURE SERVICE LINE TO LOW PRESSURE SEWER MAIN OR FORCE MAIN - (ERSA DETAIL 13)

3 11 NOT TO SCALE



FORCE MAIN CONNECTION TO MANHOLE (ERSA DETAIL 15)

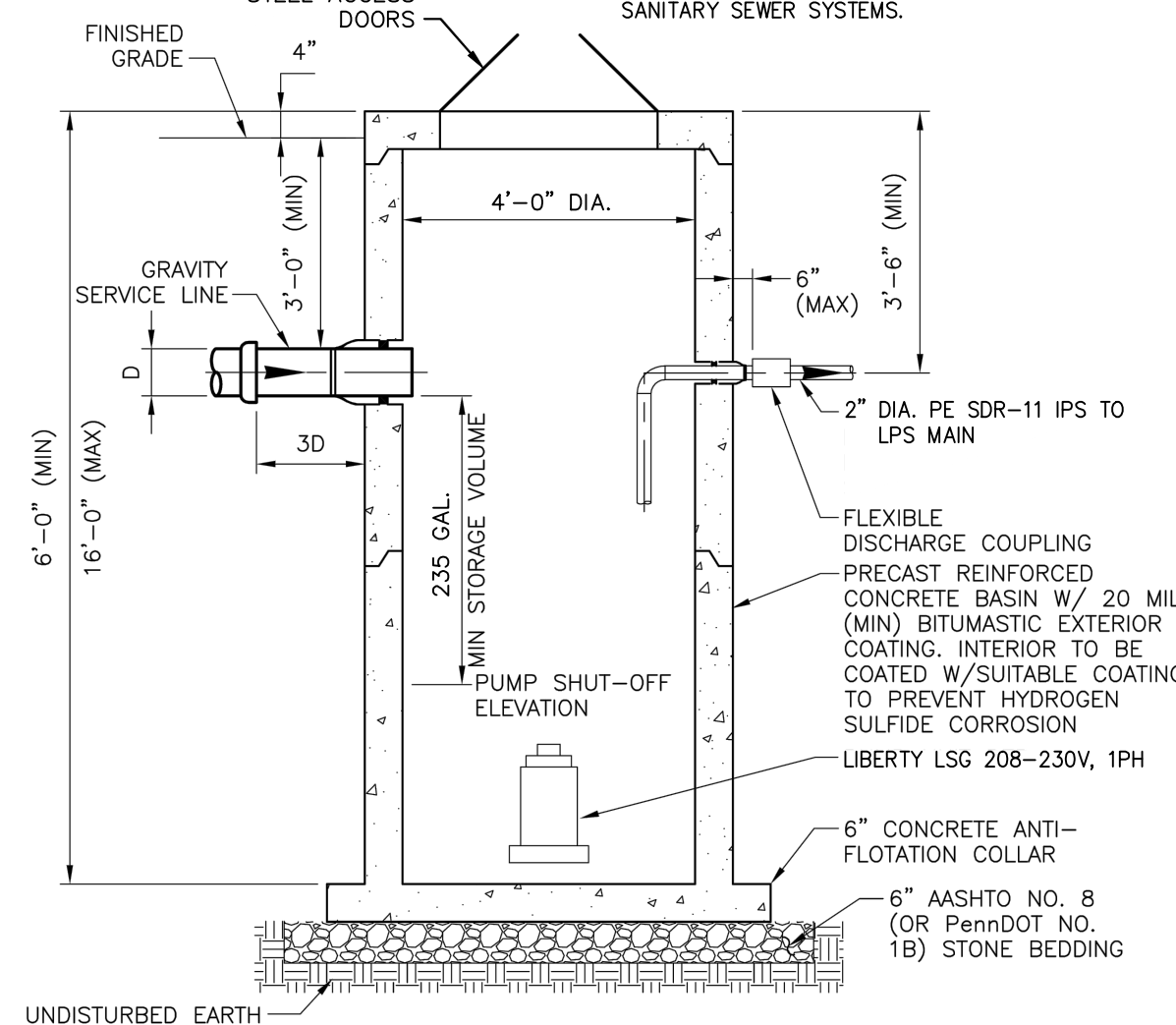
4 11 NOT TO SCALE



WALL MOUNTED CONTROL PANEL (EXTERNAL INSTALLATION) (ERSA DETAIL 24)

5 11 NOT TO SCALE

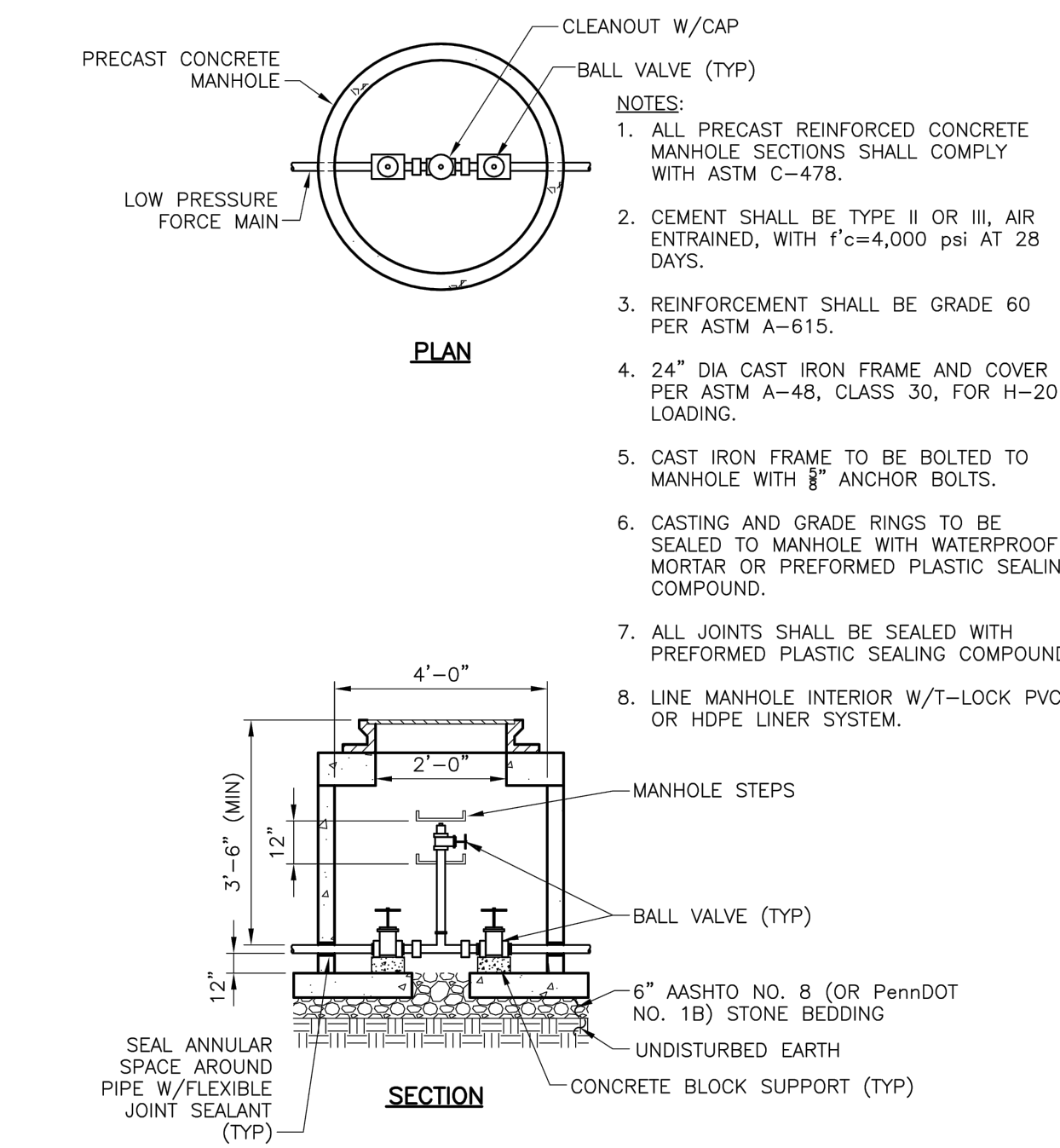
- NOTES:
- CONCRETE BASINS SHALL BE USED IN AREAS SUBJECT TO TRAFFIC LOADING.
 - CONCRETE BASINS SHALL COMPLY WITH ASTM C-478 AND SHALL BE WATER-TIGHT.
 - JOINTS BETWEEN SECTIONS SHALL BE PROVIDED W/PREFORMED PLASTIC JOINT SEALING COMPOUND.
 - LOCATION OF BASIN TO BE DETERMINED BY APPLICANT. TRAFFIC RATED STEEL ACCESS DOORS.
 - EXCAVATED AREA SHALL BE BACKFILLED TO 6" BELOW GRADE. BACKFILL MATERIAL SHALL BE EXCAVATED MATERIAL CONTAINING NO SOIL LUMPS, STONES, CONCRETE, OR FOREIGN OBJECTS LARGER THAN 1" MAX DIMENSION, OR ASHTO NO. 8 STONE.
 - FINISHED PAVED SURFACE SHALL BE SET LEVEL WITH BASIN TOP.
 - GRINDER PUMP SYSTEM SHALL INCLUDE COMBO AIR RELEASE VACUUM VALVE PER MANUFACTURER.
 - PUMP SYSTEM PERIPHERALS SHALL BE IN ACCORDANCE WITH ERSAs SPECIFICATIONS FOR SANITARY SEWER SYSTEMS.



| MESA PUMP SETTINGS | | HAWTHORNE ELEC. PUMP SETTINGS* | |
|--------------------|-----------|--------------------------------|-----------|
| DESCRIPTION | ELEV (FT) | DESCRIPTION | ELEV (FT) |
| RIM | 417.00 | RIM | 419.00 |
| INVERT OUT | 413.00 | INVERT OUT | 415.00 |
| INVERT IN | 413.00 | INVERT IN | 415.00 |
| ALARM HWL | 412.50 | ALARM HWL | 414.50 |
| PUMP 1 LEVEL ON | 411.50 | PUMP 1 LEVEL ON | 413.50 |
| PUMPS OFF | 410.50 | PUMPS OFF | 412.50 |
| WET WELL BOTTOM | 409.00 | WET WELL BOTTOM | 411.00 |

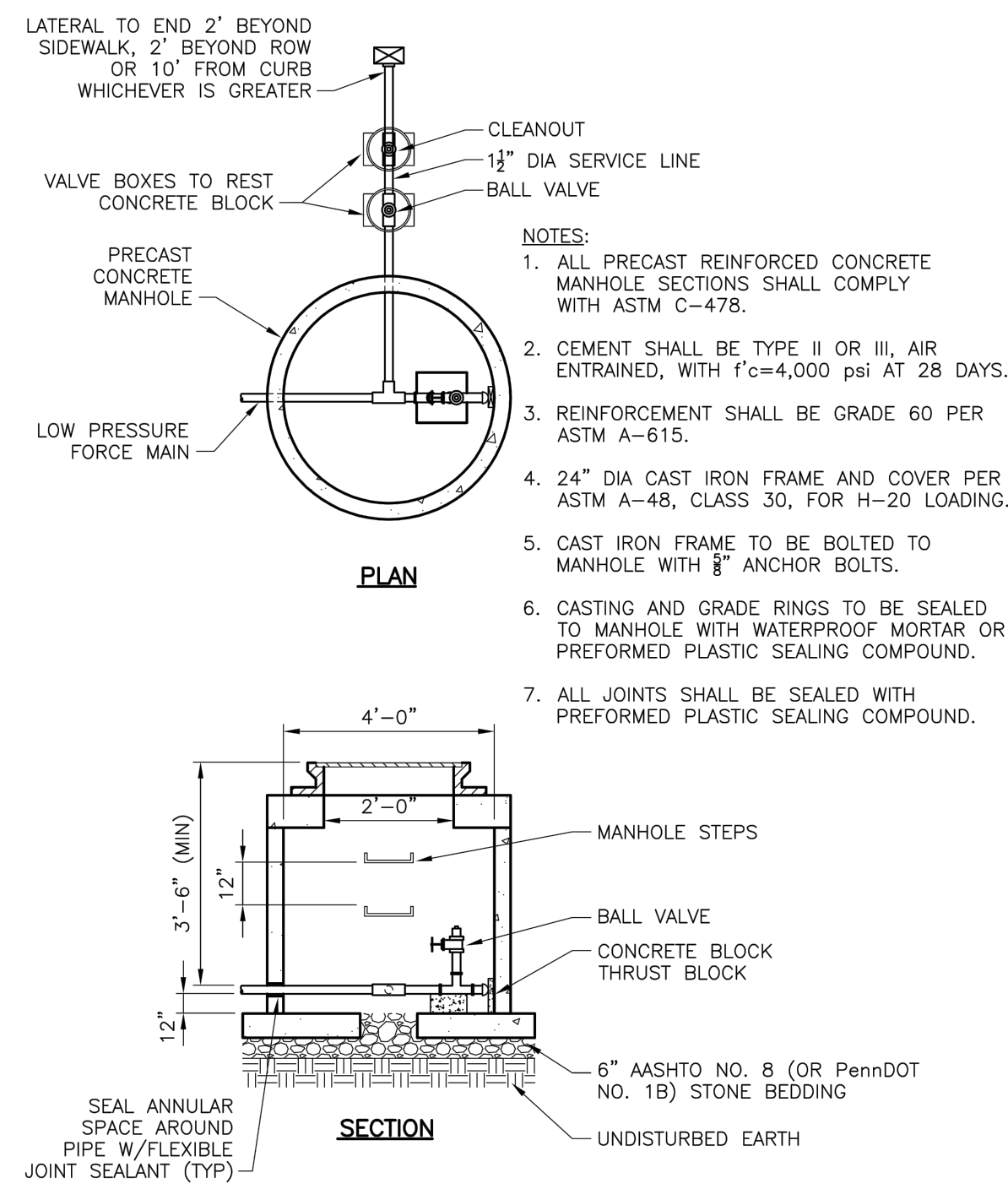
CONCRETE BASIN FOR TYPICAL INDIVIDUAL PUMP (ERSA DETAIL 16)

6 11 NOT TO SCALE



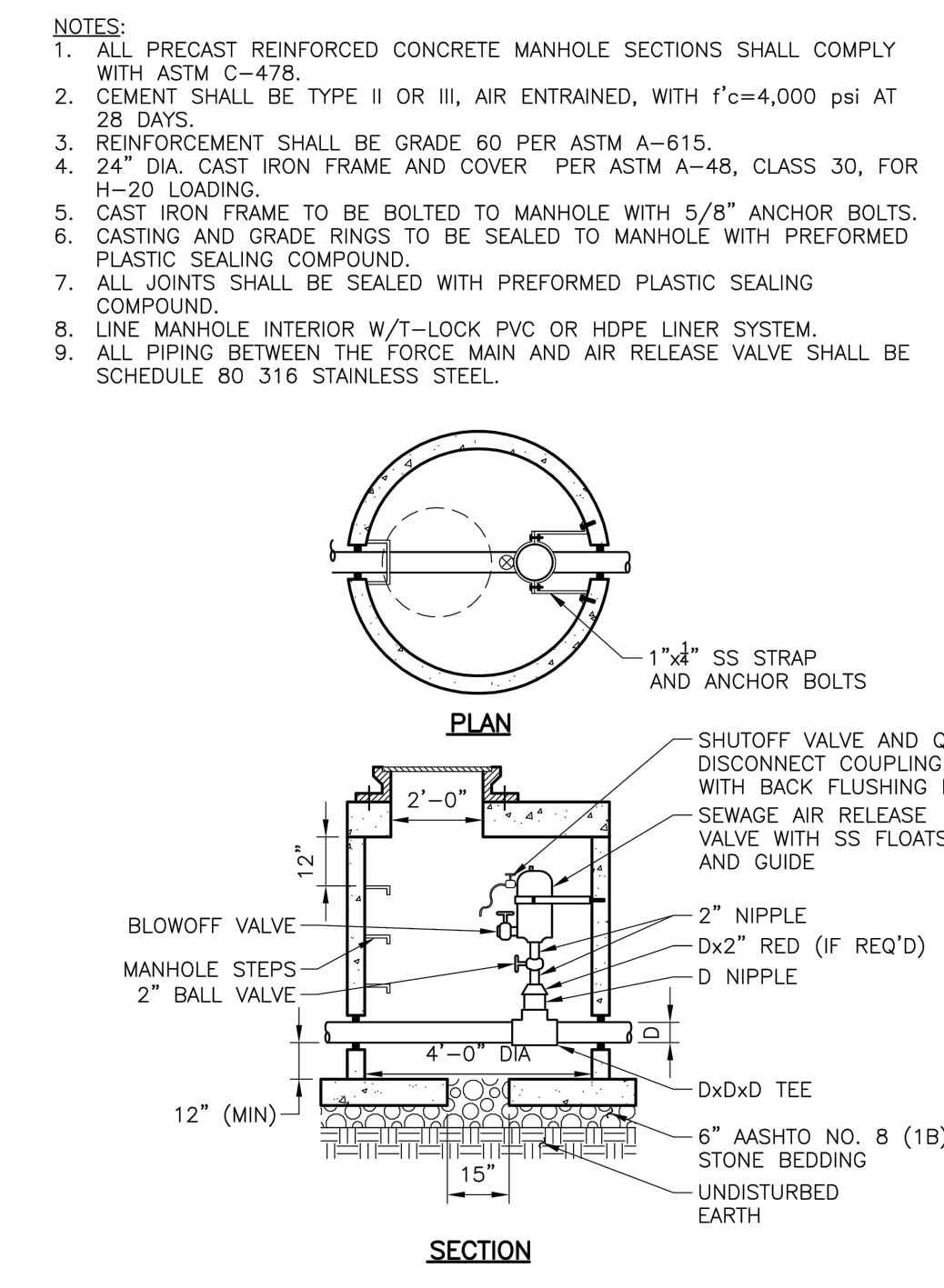
LOW PRESSURE SEWER VALVE AND CLEANOUT MANHOLE (ERSA DETAIL 22)

7 11 NOT TO SCALE



LOW PRESSURE SEWER TERMINAL CLEANOUT MANHOLE (ERSA DETAIL 23)

8 11 NOT TO SCALE



AIR RELEASE VALVE AND CHAMBER (ERSA DETAIL 14)

9 11 NOT TO SCALE

| NO | BY | DATE | REVISION |
|----|-----|------------|-----------------------------------|
| 1 | IBK | 02/10/2026 | PER TWP. ENGINEER REVIEW COMMENTS |
| 2 | NAB | 03/10/2026 | PER TWP. ENGINEER REVIEW COMMENTS |

CLIENT
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY
380 W. BAINBRIDGE STREET
ELIZABETHTOWN PA 17022
717-361-8220

PROJECT TITLE
PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR MESA SUBSTATION
MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

SHEET TITLE
SANITARY SEWER DETAILS

DRAWN BY: BRK
CHECKED BY: SPG
DATE: FEBRUARY 9, 2026
PROJECT NO.: 251195-001

March 30, 2026

Board of Supervisors
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Via digital submission (matt@mountjoypa.org)

**RE: Modification Request Letter - REVISED
MESA Substation
Mount Joy Township - Lancaster County, PA
HEI Job No. 251195-001**

Dear Supervisors:

On behalf of our client, Municipal Emergency Service Authority of Lancaster County (MESA), we are requesting the following modifications:

SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

1. Section 119-25.(A) – Preliminary Plan Application

This section of the Ordinance requires that a Preliminary Plan application be submitted to the Township.

We are requesting a waiver of the requirement to submit a Preliminary Land Development Plan application and instead propose that the plan be processed as a Preliminary/Final Land Development Plan. We request this waiver based upon the following justifications:

1. The plan submission fully addresses the requirements of both a Preliminary Plan and a Final Plan submission.
2. No public streets are proposed for the site.
3. The plans submitted meet the criteria of a Final Land Development Plan in regard to the information shown.

Based on the justifications provided above, we believe that waiving the requirement to submit a Preliminary Subdivision and Land Development Plan is warranted and that the submitted plan is adequate to meet the Township design criteria.

2. 119-52.J.(3)(a), 119-53.B(2), 119-53.C Improvement of Existing Streets, Sidewalks, Curbs

This section of the Ordinance requires that all existing streets at the perimeter of the development be improved according to Township specifications.

We are requesting a deferral of the requirements to improve West Main Street per the ordinance and the Official Township Map which include providing additional right-of-way, sidewalk, and

curbing along the property's frontage. We request this deferment based upon the following justification:

1. There are no sidewalks, curbing, bicycle/pedestrian pathway, or an eastbound/westbound through lane located on adjacent or nearby properties.
2. Improvements along West Main Street would not benefit the applicant or Township. Additionally, West Main Street is a state highway and would require PennDOT Approvals.
3. A deferral will allow the Township to require sidewalks or pathway in the future if a comprehensive pedestrian network is established.

Based on the justification provided above, we believe that deferring the improvements along West Main Street is justified.

3. Section 119-31.C(3) - Existing Features

This section of the ordinance requires that existing features be located upon or within two hundred (200) feet of the tract.

We request a modification of this requirement to provide the existing features within approximately 200 feet of the subject tract. The proposed plan is relatively minor. Additionally, detailed survey data has been provided for existing site features in the area surrounding the tract and surrounding the proposed force sewer main. In our opinion, locating all existing features within 200 feet of the tract would provide no further benefit to the review agency and the detailed survey provided is an acceptable alternative.

Based upon the justifications provided above, we believe that this modification request meets the intention of the ordinance.

4. Section 119-53.C.(2)(a) – Curb Height

This section of the ordinance requires an exposed curb height of 8”.

We request this modification to allow a 6” revealed curb height for around the access drive and along the parking areas based upon the following justifications:

1. The 6” curb height will adequately define the access drive and parking areas as well as direct stormwater runoff.
2. The 6” curb height will function better for parked vehicles for bumper and door opening clearance.
3. The curb will be privately owned and maintained.

We submit that using the 6” curb height is a reasonable adjustment of the ordinance standard.

5. Section 119-56.D – Utility Easement Width

This section of the ordinance requires that utility easements have a minimum width of 30’

We request this modification to allow a reduced easement width for the sanitary sewer forcemain and potential future sewer extension area. As shown on the plan, the easement is shown at 10-ft to the south and east of the proposed building, and 20-ft from the western edge of the building to the proposed connection at the existing manhole. Note that the easement also jogs around existing buildings on the Meadowbrook Realty, LLC property to less than 20-ft in some areas. We request this modification based on the following justifications.

1. The size of the PP&L right of way limits available building area on the site. The proposed building has been placed 10-ft from the southern property line in order to provide an adequate size to serve MESA’s needs. The easement behind and to the east of the building is being established to allow for a future forcemain connection from the property to the east, if that property owner wishes to connect to the public sewer in the future. Because this is the only property to the east that could potentially connect, the lesser width should be adequate to accommodate a line and maintenance.
2. The location of the existing buildings on the Meadowbrook Realty, LLC property do not allow for a full 20-ft width in some area.
3. The Elizabethtown Regional Sewer Authority (ERSA) requires 20-ft easements. The areas of non-compliance were discussed with ERSA prior to finalizing the design for their concurrence and they agreed that the proposed easement widths will be acceptable given the circumstances.

Based upon the justifications provided, we submit that the reduced easement width is necessary and justified.

6. Section 119-32.B – Wetland Study

This section of the ordinance requires that a wetlands study be completed for all subdivision and land development plans.

We are requesting a waiver of the requirement to not provide a wetland study for this project. Justification for this waiver is as follows:

1. The Hawthorne Electric site is covered with over 85% impervious surfaces including building, pavement, and gravel areas. The vacant site is in a lawn condition with no low-lying areas or wetland vegetation. There are also no watercourses or visible springs on either property.
2. The National Wetlands Inventory Mapper shows no wetlands on or immediately adjacent to the subject property.
3. There are no hydric soils present on either property.

Based upon the justifications provided above, we submit that waiving the requirement to provide a wetland study is justified.

7. Section 119-32.C(6) & 119-32.C.(2)– Traffic Impact Study and Fee in Lieu

These sections of the ordinance requires a traffic impact study for all non-residential developments with buildings containing in excess of 1,000 s.f. and that when a developer believes that a traffic impact study and report are not warranted, they may ask the Planning Commission to waive the preparation of the study and make a contribution of \$1.50 per square foot of usable building floor area in a commercial, industrial, or institutional subdivision and land development.

We are requesting that the Township waive the requirement to provide a traffic study and also to provide a fee in lieu of providing a traffic study based on the formula described in the Ordinance. The cost of the fee in lieu of providing a traffic study in this case would be \$6,624 (4,416 SF x \$1.50). We request this modification based on the following justifications:

1. The proposed sub-station will generate very little traffic. The sub-station will have 4 – 6 staff in a 24-hour period. The shifts change at 6 AM and 6 PM. Each shift change will have 2 – 3 vehicles entering and leaving during those times. Service calls are unpredictable with respect to time and frequency, but it's anticipated that there will be 4 – 7 ambulance calls in a 24-hour period based on MESA's historical volumes at the current Norlanco location.
2. No new access drives are being proposed as part of this plan.
3. The proposed use is a non-profit municipal service use that will benefit the surrounding area.

Based on the justification outlined above, we submit that waiving the traffic impact study and fee in lieu is a reasonable request in this instance.

8. Section 119-53.C.(1) – Curbing in Parking Facilities

This section of the ordinance requires that concrete curbs shall be provided along the edge of any landscape portions of a parking facility.

We are requesting a modification to not install curbing along the landscape island between the ADA parking and the garage bays along the north side of the building. Providing curbing in this area would impede stormwater would require the installation of additional collection and conveyance facilities that would otherwise drain to inlet I-A1. Because this island is positioned at the end of one ADA accessible space and there are no parking spaces to the east, it is anticipated that there will not be much vehicular traffic in this area.

Based on the justification outlined above, we submit that waiving the curbing requirement in this area is reasonable.

STORMWATER MANAGEMENT ORDINANCE

1. Section 113-37.C.(1).(a)[4] – Minimum Pipe Diameter – Vehicular Loading

This section of the ordinance requires that outside of the public street right-of-way under vehicular loading the minimum pipe diameter shall be 15 inches.

We are requesting a modification to allow for 8" diameter pipes to be used in various locations. The pipes have been designed to convey 100-year peak flows. Due to the limited flows, a larger pipe is unnecessary. The pipes that are subject to vehicular loading will have sufficient cover. The conveyance pipes have been sized and have adequate capacity to convey the design storm event. The conveyance pipes are outside of the Township right-of-way and will be privately owned and maintained.

Based on the justifications provided, we believe that this modification sufficiently meets the intent of the ordinance.

2. Section 113-43.I(5) - Existing Features

This section of the ordinance requires that existing features be located upon or within two hundred (200) feet of the tract.

We request a modification of this requirement to provide the existing features within approximately 200 feet of the subject tract. The proposed plan is relatively minor. Additionally, detailed survey data has been provided for existing site features in the area surrounding the tract and surrounding the proposed force sewer main. In our opinion, locating all existing features within 200 feet of the tract would provide no further benefit to the review agency and the detailed survey provided is an acceptable alternative.

Based upon the justifications provided above, we believe that this modification request meets the intention of the ordinance.

Thank you for your consideration of these modification requests. If you should have any questions or require any additional information, please do not hesitate to contact my office.

Sincerely,
HARBOR ENGINEERING, INC.



Steven P. Gergely, RLA

C: Digital File

ANTHONY P. SCHIMANECK
JOSELE CLEARY
ROBERT E. SISCO

LAW OFFICES
MORGAN, HALLGREN, CROSSWELL & KANE, P.C.

P. O. BOX 4686
LANCASTER, PENNSYLVANIA 17604-4686

WWW.MHCK.COM

FAX (717) 299-6170

E-MAIL: attorneys@mhck.com

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(1971 - 2021)

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CARL R. HALLGREN
MICHAEL P. KANE

700 NORTH DUKE STREET
LANCASTER, PA 17602
717-299-5251

1536 W MAIN STREET
EPHRATA, PA 17522
717-733-2313

659 E WILLOW STREET
ELIZABETHTOWN, PA 17022
717-361-8524

OF COUNSEL
WILLIAM C. CROSSWELL
RANDALL K. MILLER
FRANK A. NARDO, JR.

March 28, 2026

VIA EMAIL

Matthew J. Mandia, Township Manager
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Re: Preliminary/Final Land Development Plan for MESA Substation
Our File No. 10221-1

Dear Matt:

I have been provided with a revised draft of the Preliminary/Final Land Development Plan for MESA Substation (the "Plan") prepared by Harbor Engineering, Inc. I was also provided with the letter from Steven Gergely of Harbor Engineering dated March 10, 2026, responding to the initial review letters as well as the Township Engineer's review letter dated March 19, 2026. A substation for the Municipal Emergency Services Authority of Lancaster County ("MESA") is proposed to be constructed on a vacant lot owned by Daniel Hawthorne. However, access and off-street parking are located partially on lands of Hawthorne Electric, Inc ("Hathorne Electric"). The revised version of the Plan includes Hawthorne Electric as a landowner and its lot as part of the Plan.

In accordance with the letter from Mr. Gergely, I have prepared documentation required by the Plan. First, attached please find a Storm Water Management Agreement and Declaration of Easement between Mr. Hawthorne and the Township. I reviewed the Plan, and there do not appear to be any new storm water management facilities to be installed on the Hawthorne Electric lot. Therefore, it does not need to be a party to the Storm Water Management Agreement. I reviewed the website of the Office of the Recorder of Deeds, and there are no mortgages against Mr. Hawthorne's property.

I have also prepared a Deferred Improvements Agreement among Mr. Hawthorne, Hawthorne Electric, and the Township. The letter from the Township Engineer indicates that it is appropriate for deferral of improvements required by Subdivision and Land Development Ordinance Sections 119-52.J(3)(a), 119-53.B(2), and 119-53.C.

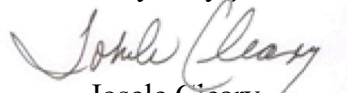
I have also prepared and attach a Developer's Letter-Agreement to be executed on behalf of MESA. The initial letter from Mr. Gergely indicated that MESA was an equitable owner, so I

Matthew J. Mandia, Township Manager
March 28, 2026
Page 2

assume it will be the developer posting the letter of credit. I have made Mr. Hawthorne the party to the Storm Water Management Agreement and the Deferred Improvements Agreement because these documents should be recorded before the Plan is released for recording. If MESA intends to settle and acquire the land currently owned by Mr. Hawthorne before the Plan is recorded, please let me know and I can revise the documents accordingly.

If you have any questions concerning any of the attached documents, please contact me.

Very truly yours,



Josele Cleary

JC:sle
MUNI\10221-1(7)\260327\71

Attachments

cc: Justin S. Evans, AICP, Assistant Zoning Officer (via email; with attachments)
Patricia J. Bailey, Township Secretary, Assistant Zoning Officer (via email; with attachments)
Benjamin S. Craddock, P.E. (via email; with attachments)
Steven P. Gergely, RLA (via email; with attachments)

April 20, 2026

Matthew Mandia
Township Manager
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Via email: matt@mtjoytp.org

Re: MESA Substation
Preliminary/Final Land Development Plan
Township Permit No. 2026-02-FLDP
LCEC Project No: 25-208



LANCASTER CIVIL

★ ★ *engineering company* ★ ★
p.o. box 8972, lancaster, pa 17604-8972
www.lancastercivil.com

Dear Mr. Mandia,

We have received a preliminary/final land development plan submission from Harbor Engineering, Inc. for the above-referenced project. The submission consisted of the following documents:

- Comment response letter dated March 30, 2026
- Preliminary/Final Land Development Plan revised March 30, 2026
- SWM and E&S Report Addendum revised March 30, 2026
- Drainage Area Maps revised March 30, 2026
- Opinion of Probable Cost dated March 30, 2026
- Revised Modification Request Letter dated March 30, 2026

Based upon my review of the submitted information, I offer the following comments for the Township to consider:

Zoning Ordinance

1. The proposed municipal use is exempted from all Zoning requirements (135-312).
2. At a Zoning Hearing Board meeting on April 1, 2026, the Board granted the following:
 - a. Variance from Section 135-135.F(2) to exceed the 65% lot coverage
 - b. Variance from Section 135-135.E(2) to allow the shared parking lot to encroach into the side yard setback
 - c. Variance from Section 135-135.E(3)(b) to allow the shared parking lot to encroach into the rear yard setback

Subdivision and Land Development Ordinance

3. The plans shall be signed and sealed by a registered engineer, surveyor or landscape architect (119-31.A(5)).
4. All certificates shall be executed prior to final plan approval (119-35.E).

5. Written notice shall be provided from the DEP that approval of the sewer planning module has been granted or notice from the Department that such approval is not required (119-35.E(2)(a) & 119-60.A).
6. The plan shows future improvements within the PP&L easement. I recommend that the following note be added to the plan: "Any future improvements shown on this plan will be subject to the review and approval of Mount Joy Township, including compliance with all land development and stormwater management regulations. Any encroachments into the PP&L Right of Way will require approvals from PP&L" (119-35.E(2)(b)).
7. The applicant shall provide written notice from the Elizabethtown Regional Sewer Authority that the proposed sewer system has been designed to the Authority's standards (119-35.E(2)(e) & (f) / 119-60.A.(2) & B.(2)).
8. Written notices from the police and fire emergency service providers that will serve as the primary responders for the land development shall be submitted indicating that the building layout is satisfactory and will not present any obstacles or other problems for emergency responders to the land development (119-35.E.(2)(h)).
9. A Stormwater Management Agreement and Declaration of Easement in a form acceptable to the Township Solicitor shall be executed and recorded (119-35.E(4)(c), 119-56.E & 113-62).
10. A land development agreement in a form acceptable to the Township Solicitor shall be executed (119-35.E(4)(f)).
11. Financial security in the amount of \$111,894.31 shall be provided prior to final plan approval (119-41 & 113-60).
12. Concrete curbing shall be provided along the edge of any landscaped portions of a parking facility (119-53.C(1)). The applicant has requested a waiver of this requirement.

Waiver response: The applicant is proposing to not install curbing along the landscape island beside the ADA parking space. Installing the curb would require the installation of additional stormwater conveyance facilities. Curb at this location is also less critical due to the ADA parking space on west side and no parking spaces on the east side. Based on these considerations I do not have any objections to a waiver of this requirement.
13. Any action taken on waiver requests, dates, and any conditions of approval shall be added to the cover sheet (119-91.C).

Stormwater Management Ordinance

14. The proposed building and lot coverages shown for the West Main Street lot in the Site Data table on the Cover Sheet shall be updated (113-31.H(1)). For clarity, I recommend that the future impervious area be noted in the Site Data table on the Cover Sheet.
15. The limit of disturbance shown on Sheet 6 of the plans shall be updated (113-31.N(3)).
16. A minimum thirty-foot-wide access easement shall be provided for all stormwater facilities with tributary areas equal or greater than 1,000 square feet and not located within a public right-of-way (113-31.Q). Access easements shall provided for ingress and egress to a public right-of-way.
17. Updated conveyance calculations shall be provided for the revised roof leader layout (113-37.C). The future building should be considered in the updated calculations.
18. The bottom width and left side slope shown in the Channel Design Data worksheet for Swale 1 is inconsistent with the bottom width and left slope shown in the Standard

Construction Detail #6-1 (113-37.C(5)). The bottom width shown by the proposed contours does not match the bottom width shown in the detail.

19. The landowner shall execute the final documents prior to final plan approval (113-41.B).

20. An operation and maintenance (O&M) agreement shall be provided and recorded with the final plan (113-62).

If you should have any questions or need additional information, please do not hesitate to contact me at bencraddock@lancastercivil.com or via telephone at 717-799-8599.

Sincerely,



Benjamin S. Craddock, PE, President

LANCASTER CIVIL

cc: Justin Evans, Township Assistant Zoning Officer (via email)
Patricia Bailey, Township Secretary / Assistant Zoning Officer (via email)
Cindy Gonzalez, Assistant Township Secretary (via email)
Josele Cleary, Esquire, Township Solicitor (via email)
Christopher Lincoln, PE, Traffic Planning & Design (via email)
Steve Gergley, RLA, Harbor Engineering (via email)
Marc Hershey, MESA (via email)
Steve Rettew, ERSA (via email)
Abraham King, RETTEW (via email)
Renee Addleman, Planner, LCPC (via email)

**PROPOSED MOTION FOR THE PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR MESA SUBSTATION
M.J.T.P.C. File # 2026-02-FLDP**

I move that the Township Planning Commission grant the following waiver of Chapter 119 of the Code of Ordinances of the Township of Mount Joy, i.e. the Mount Joy Township Subdivision and Land Development Ordinance:

(1) §119-53.C(1) – parking facility curbing

And having granted such waiver, grant approval of the Preliminary/Final Land Development Plan for MESA Substation (the “Plan”) prepared by Harbor Engineering, Inc., Project No. 251195-001, dated February 9, 2026, subject to the following conditions:

1. To the extent not otherwise provided in these conditions, Applicant shall address the comments of the Township Engineer’s review letter dated April 20, 2026.
2. To the extent not otherwise provided in these conditions, Applicant shall address the comments of the Township Solicitor’s review letter dated March 28, 2026.
3. Applicant shall address and comply with all conditions contained in the Mount Joy Township Zoning Hearing Board (MJTZHB) decision dated April 14, 2026.
4. Applicant shall submit a fully executed Storm Water Management Agreement and Declaration of Easement in a form acceptable to the Township Solicitor prior to the release of the Plan for recording.
5. Applicant shall submit a fully executed Deferred Road Improvement Agreement in a form acceptable to the Township Solicitor prior to the release of the Plan for recording. The Agreement shall include, but is not necessarily limited to, provisions for roadway widening and non-vehicular facilities.
6. Applicant shall submit a fully executed Land Development Agreement in a form acceptable to the Township Solicitor prior to the release of the Plan for recording.
7. Applicant shall submit financial security in a form acceptable to the Township Solicitor to guarantee the proper installation of all improvements associated with the project prior to the release of the Plan for recording. The amount of said financial security shall be in the amount consistent with the construction cost opinion approved by the Township Engineer.
8. Applicant shall apply for and obtain all necessary permits prior to commencing any construction activities.
9. Applicant shall reimburse the Township for all reasonable engineering and legal fees incurred in the review of plans under the Subdivision and Land Development Ordinance, Storm Water Management Ordinance, and other governing ordinances; review or preparation of documentation required in connection with the development; review and approval of financial security and other documentation; inspection of improvements; and for other costs as set forth in these Conditions within 30 days after receipt of an invoice for such fees. If Applicant fails to pay such costs within 30 days after the date of a written invoice for such costs, Applicant shall be in violation of this Condition.

[4/23/2026]

**ACCEPTANCE OF CONDITIONS UPON APPROVAL OF A
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
IMPOSED BY THE PLANNING COMMISSION OF MOUNT JOY TOWNSHIP
FOR**

**MESA SUBSTATION
M.J.T.P.C. File # 2026-02-FLDP**

I have reviewed the conditions imposed by the Planning Commission of Mount Joy Township, Lancaster County, Pennsylvania, at the meeting on April 27, 2026, upon the approval of the Preliminary/Final Land Development Plan for MESA Substation (the "Plan") prepared by Harbor Engineering, Inc., Project No. 251195-001, dated February 9, 2026. In my capacity as developer/developer's agent and being authorized to do so, and intending to be legally bound, I hereby accept the imposition of the conditions attached hereto as part of the approval of the above-described subdivision and/or land development project. I expressly waive any requirements of the Pennsylvania Municipalities Planning Code that the Township provide a section number of a governing ordinance, statute or regulation upon which such conditions are based and a description of the requirements which have not been met. To the extent that any condition is not based upon a specific requirement of a governing ordinance, statute or regulation, I expressly waive any right which I may have to challenge the imposition of such condition. If signing as developer's agent, I expressly state that I have been authorized by developer to agree to the conditions imposed upon the approval of the above-described subdivision and/or land development application.

Date: _____

Signature

Printed Name

Title