



**TRANSMITTAL LETTER
FOR SEWAGE FACILITIES PLANNING MODULE**

DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP) USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH. ID #

TO: Approving Agency (DEP or delegated local agency)
 Department of Environmental Protection: Southcentral
 Regional Office
 ATTN: Cory Zimmerman

Date _____

Dear Sir/Madam:

Attached please find a completed sewage facilities planning module prepared by RETTEW Associates, Inc.
(Name)
Consulting Engineer (Title) for Sheaffer Rd. & Market St. Gravity Sanitary Relocation Project
(Name)
 a subdivision, commercial ,or industrial facility located in (No development, replacing an existing sewer line)

Mount Joy Township, Lancaster County.
(City, Borough, Township)

Check one

(i) The planning module, as prepared and submitted by the applicant, is approved by the municipality as a proposed revision supplement for new land development to its Official Sewage Facilities Plan (Official Plan), and is adopted for submission to DEP transmitted to the delegated LA for approval in accordance with the requirements of 25 Pa. Code Chapter 71 and the *Pennsylvania Sewage Facilities Act* (35 P.S. §750),

OR

(ii) The planning module will not be approved by the municipality as a proposed revision or supplement for new land development to its Official Plan because the project described therein is unacceptable for the reason(s) checked below:

Check Boxes

- Additional studies are being performed by or on behalf of this municipality which may have an effect on the planning module as prepared and submitted by the applicant. Attached hereto is the scope of services to be performed and the time schedule for completion of said studies.
- The planning module as submitted by the applicant fails to meet limitations imposed by other laws or ordinances, officially adopted comprehensive plans and/or environmental plans (e.g., zoning, land use, 25 Pa. Code Chapter 71). Specific reference or applicable segments of such laws or plans are attached hereto.
- Other (attach additional sheet giving specifics).

Municipal Secretary: Indicate below by checking appropriate boxes which components are being transmitted to the approving agency.

- Resolution of Adoption
- Module Completeness Checklist
- 2 Individual and Community Onlot Disposal of Sewage
- 3 Sewage Collection/Treatment Facilities
- 3s Small Flow Treatment Facilities
- 4A Municipal Planning Agency Review
- 4B County Planning Agency Review
- 4C County or Joint Health Department Review

Municipal Secretary (print)

Signature

Date



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER

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(Title) (Name)
a subdivision, commercial ,or industrial facility located in (No development, replacing an existing sewer line)

West Donegal Township, Lancaster County.
(City, Borough, Township)

Check one

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- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Resolution of Adoption | <input checked="" type="checkbox"/> 3 Sewage Collection/Treatment Facilities | <input checked="" type="checkbox"/> 4A Municipal Planning Agency Review |
| <input checked="" type="checkbox"/> Module Completeness Checklist | <input type="checkbox"/> 3s Small Flow Treatment Facilities | <input checked="" type="checkbox"/> 4B County Planning Agency Review |
| <input type="checkbox"/> 2 Individual and Community Onlot Disposal of Sewage | | <input type="checkbox"/> 4C County or Joint Health Department Review |

Municipal Secretary (print)

Signature

Date

SEWAGE FACILITIES PLANNING MODULE

**SHEAFFER RD. AND MARKET ST. GRAVITY SANITARY
RELOCATION PROJECT**

ELIZABETHTOWN REGIONAL SEWER AUTHORITY

LANCASTER COUNTY, PENNSYLVANIA

RETTEW Project No. 0090305320

MARCH 2026

The logo for RETTEW, featuring the word "RETTEW" in a bold, white, serif font with a small "SM" trademark symbol to the right, all set against a dark red rectangular background.

Prepared by
RETTEW Associates, Inc.
3020 Columbia Avenue
Lancaster, PA 17603
1 (800) 738-8395
rettew.com

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SECTION 1 – COMPONENT 3 CHECKLIST

Checklist



Pennsylvania
Department of
Environmental Protection

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER

Completeness Checklist

The individual completing the component should use the checklist below to assure that all items are included in the module package. The municipality should confirm that the required items have been included within 10 days of receipt, and if complete, sign and date the checklist.

Sewage Collection and Treatment Facilities

- Name and Address of land development project.
- U.S.G.S. 7.5 minute topographic map with development area plotted.
- Project Narrative.
- Letter from water company (if applicable).
- Alternative Analysis Narrative.
- Details of chosen financial assurance method.
- Proof of Public Notification (if applicable).
- Name of existing collection and conveyance facilities.
- Name and NPDES number of existing treatment facility to serve proposed development.
- Plot plan of project with required information.
- Total sewage flows to facilities table.
- Signature of existing collection and/or conveyance Chapter 94 report preparer.
- Signature of existing treatment facility Chapter 94 report preparer.
- Letter granting allocation to project (if applicable).
- Signature acknowledging False Swearing Statement.
- Completed Component 4 (Planning Agency Review) for each existing planning agency and health department.
- Information on selected treatment and disposal option.
- Permeability information (if applicable).
- Preliminary hydrogeology (if applicable).
- Detailed hydrogeology (if applicable).

Municipal Action

- Component 3 (Sewage Collection and Treatment Facilities).
- Component 4 (Planning Agency Comments and Responses).
- Proof of Public Notification.
- Long-term operation and maintenance option selection.
- Comments, and responses to comments generated by public notification.
- Transmittal Letter

Signature of Municipal Official

Date submittal determined complete

Checklist



Pennsylvania
Department of
Environmental Protection

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER

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- Proof of Public Notification.
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- Comments, and responses to comments generated by public notification.
- Transmittal Letter

Signature of Municipal Official

Date submittal determined complete



February 17, 2026

VIA ELECTRONIC MAIL

RETTEW Associates, Inc.
 Attn: Frances Krull
 330 Innovation Blvd. Ste. 104
 State College, PA 16803

Re: Checklist Letter – Planning Module (Component 3 – Sewage Collection and Treatment Facilities)
 Act 537 Planning
 Sheaffer Road and Market Street Sewer Relocation Project
 DEP CODE NO. A3-36942-393-3
 Mount Joy Township, Lancaster County
 DEP CODE NO. A3-36958-187-3
 West Donegal Township, Lancaster County

Dear Frances Krull:

In response to your application mailer, this checklist outlines what is required to be submitted to the municipality and the Department of Environmental Protection (DEP) as a complete module packet for the proposed development. Please submit the completed planning modules and supporting information to the municipality(ies) in which the project is located. When submitting the planning materials, DEP will accept two hard copies of the submission, or the submission may instead be received electronically via ePermitting (link available at the end of this letter).

This letter does not supersede the rules and regulations found in Chapter 71. The municipality must submit a complete module package.

<u>Materials Required to be Included in the Planning Package</u>	DEP Use Only
Multiple municipalities involved	
A set of planning modules is provided from both municipalities	
Transmittal Letter (Form 3850-FM-BCW0355)	
Transmittal Letter is attached, completed and the appropriate boxes in Section (i) are checked.	
Transmittal Letter is signed by the municipal secretary	
Resolution of Adoption (Form 3850-FM-BCW0356)	
Resolution of Adoption is attached and completed	
Resolution of Adoption is signed by the municipal secretary	
Resolution of Adoption has a visible municipal seal	
Component 4A - Municipal Planning Agency Review (Form 3850-FM-BCW0362A)	
Component 4A is attached, completed and signed	
Municipal Responses to Component 4A comments are included	

Component 4B – County Planning Agency Review (Form 3850-FM-BCW0362B)	
Component 4B is attached, completed and signed	
Municipal Responses to Component 4B comments are included	
Component 3 Sewage Facilities Planning Module (Form 3850-FM-BCW0353)	
<i>Section A: Project Information</i>	
Section A.1. The Project Name is completed	
Section A.2. The Brief Project Description is completed	
<i>Section B: Client Information</i>	
Client Information is completed	
<i>Section C: Site Information</i>	
Site Information is completed	
A copy of the 7.5-minute USGS Topographic map is attached with the development site outlined, as required by the instructions and the checklist	
<i>Section D: Project Consultant Information</i>	
Project Consultant Information is completed	
<i>Section E: Availability of Drinking Water Supply</i>	
The appropriate box is checked in Section E	
For existing public water supplies, the name of the company is provided	
For public water supplies, the certification letter from the public water company is attached	
<i>Section F: Project Narrative</i>	
The Project Narrative is attached	
All information required in the module directions has been addressed	
<i>Section G: Proposed Wastewater Disposal Facilities</i>	
Section G.1.a. The collection system boxes are checked	
The Pennsylvania Clean Streams Law (CSL) permit number is provided for existing systems	
Section G.1.b. The questions on the collection system are completed	
Section G.2.a. The appropriate treatment facility box is checked	
For existing treatment facilities, the name is provided	
For existing treatment facilities, the NPDES permit number is provided	
For existing treatment facilities, the CSL permit number is provided	
Section G.2.b. The certification statement has been completed and signed by the wastewater treatment facility permittee or their representative	
Section G.3. The plot plan is attached and contains all items in the module instructions under Section G.3	
The plot plan will show the proposed sewer facilities, sewer extension and/or point of connection to the existing sewer line or point of discharge	
Copies of easement(s) or right-of-way(s) are attached	
Section G.4. The boxes are checked regarding Wetland Protection	
Section G.5. The boxes are checked regarding Primary Agricultural Land	
Section G.6. The boxes are checked confirming consistency with the Historic Preservation Act	
The PHMC Project Review Form (PRF) is attached. This is required if the project area or residual tract have structures greater than 40 years old.	

A return receipt for its submission to the PHMC is attached	
The PHMC review letter is attached	
Section G.7. The boxes are checked regarding Pennsylvania Natural Diversity Inventory (PNDI)	
Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt is attached	
PNDI Review Receipt, if no potential impacts identified, is not older than 2 years	
All supporting resolution documentation from jurisdictional agencies (when necessary) is attached and not older than 2 years	
<i>Section H: Alternative Sewage Facilities Analysis</i>	
The Alternative Sewage Facilities Analysis is attached	
All information required in the module directions has been addressed	
<i>Section I: Compliance with Water Quality Standards and Effluent Limitations</i>	
The box is checked regarding Waters Designated for Special Protection	
The Social or Economic Justification is attached	
The box is checked regarding Pennsylvania Waters Designated As Impaired	
The box is checked regarding Interstate and International Waters	
The box is checked regarding Tributaries to the Chesapeake Bay and the required information is provided	
The Name of Permittee Agency, Authority, Municipality and the Initials of Responsible Agent are provided	
<i>Section J: Chapter 94 Consistency Determination</i>	
A map showing the path of the sewage to the treatment facility and the location of the discharge is provided	
Section J.1. The Project Flows are provided	
Section J.2. The permitted, existing, and projected average and peak flows are provided in the table for collection, conveyance and treatment facilities	
Section J.3.a. The appropriate box is checked indicating capacity in the Collection and Conveyance Facilities	
Section J.3.b. The Collection System information is completed, signed and dated	
Section J.3.c. The Conveyance System information is completed, signed and dated	
Section J.4.a. The appropriate box is checked regarding projected overloads at the Treatment Facility	
Section J.4.b. The Treatment Facility information is completed, signed and dated	
<i>Section P: Public Notification Requirement</i>	
All Public Notification boxes in this section are checked	
The public notice is attached, if public notification is necessary	
All comments received as a result of the notice are attached	
The municipal responses to these comments are attached	
The box is checked indicating that no comments were received, if valid	

<i>Section Q: False Swearing Statements</i>	
The planning module preparer's false swearing statement is completed and signed	
<i>Section R: Planning Module Review Fee</i>	
The correct fee has been calculated	
The correct fee has been paid	
<i>Completeness Checklist</i>	
The module completeness checklist is included	
All completeness items have been checked as included by the municipality, as appropriate	
The Municipal Official has signed and dated the checklist	

In all cases, address the immediate and long-term sewage disposal needs of the proposal and comply with 25 Pa. Code, Chapter 71, Subchapter C relating to New Land Development Plan Revisions.

If additional copies of the enclosed modules are needed, or if you have any questions concerning the information required, please contact me at (717) 705-4793 or coryzimmer@pa.gov.

Note about electronic submissions:

In an effort to expedite reviews and reduce paper usage, DEP now prefers to accept planning authorization applications & payments – as well as other documents and correspondence – electronically via the **Public Upload with Payment** (PUP) tool. Please consider submitting all future planning applications, payments, and other documents through this tool for faster processing of your applications. The link below may be used to view the PUP webpage, get instructions, and submit documents:

<https://www.dep.pa.gov/DataandTools/Pages/Application-Form-Upload.aspx>

SECTION 2 – COMPONENT 3 SEWAGE FACILITIES PLANNING MODULE





Pennsylvania
Department of
Environmental Protection

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER

SEWAGE FACILITIES PLANNING MODULE

Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

REVIEW FEES: Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

NOTE: All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name Sheaffer Road and Market Street Gravity Sanitary Relocation Project

2. Brief Project Description The Oak Manor Pump Station, owned and operated by Elizabethtown Borough, is in Elizabethtown Borough, Lancaster County, Pennsylvania. Due to concerns about the station's ability to accommodate future flow demands, the Borough is considering potential upgrades to the facility. To help reduce the load on the Oak Manor Pump Station, ERSA is diverting its current flows to the ERSA-owned and operated Miller Road Pump Station located in West Donegal Township.

B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
Mount Joy and West Donegal	Lancaster	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Bailey	Patricia			Mt Joy Secretary
Yoder	John			WDT Township Manager
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1	Mailing Address Line 2			
8853 Elizabethtown Road (for Mount Joy Township)	1 Municipal Drive (for West Donegal Township)			
Address Last Line -- City	State	ZIP+4		

Elizabethtown	PA	17022
Area Code + Phone + Ext.	FAX (optional)	Email (optional)

C. SITE INFORMATION (See Section C of instructions)

Site (Land Development or Project) Name

Sheaffer Road and Market St. Gravity Sanitary Relocation Project

Site Location Line 1 Intersection of Sheaffer Rd. and Market St.	Site Location Line 2 Intersection of Market St. and Anchor Rd.
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Site Location Last Line -- City Elizabethtown	State PA	ZIP+4 17022	Latitude 40.138284	Longitude -76.585458
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Detailed Written Directions to Site From PA-283 take exit Rheems/Elizabethtown/PA-230. in 98 feet, turn right onto Cloverleaf Road. Continue for 1 mile. Turn right onto PA-230 W/S Market Street. Continue for 1.2 miles to the first project site the intersection of S. Market St. and Sheaffer Rd. Continue 0.3 miles to the second project site the intersection of S. Market St. and Anchor Rd.

Description of Site The existing ERSA-owned sewer main will remain in place, and a new sewer main will be installed to reroute and relocate the current sewer flows. These modifications on the existing gravity sewer will be along Sheaffer Road and Market Street.

Site Contact (Developer/Owner)

Last Name Rettew	First Name Steve	MI	Suffix	Phone	Ext.
---------------------	---------------------	----	--------	-------	------

Site Contact Title Manager	Site Contact Firm (if none, leave blank) Elizabethtown Regional Sewer Authority (ERSA)
-------------------------------	---

FAX	Email steve@ersapa.com
-----	---------------------------

Mailing Address Line 1 235 Ersa Drive	Mailing Address Line 2
--	------------------------

Mailing Address Last Line -- City Elizabethtown	State PA	ZIP+4 17022
--	-------------	----------------

D. PROJECT CONSULTANT INFORMATION (See Section D of instructions)

Last Name Ferko	First Name Andrew	MI	Suffix
--------------------	----------------------	----	--------

Title Consulting Engineer	Consulting Firm Name Rettew Associates, Inc.
------------------------------	---

Mailing Address Line 1 330 Innovation Blvd.	Mailing Address Line 2
--	------------------------

Address Last Line -- City State College	State PA	ZIP+4 16803	Country USA
--	-------------	----------------	----------------

Email andrew.ferko@rettew.com	Area Code + Phone 814-315-2690	Ext.	Area Code + FAX
----------------------------------	-----------------------------------	------	-----------------

E. AVAILABILITY OF DRINKING WATER SUPPLY NOT APPLICABLE

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: Not Applicable

F. PROJECT NARRATIVE (See Section F of instructions)

A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

1. COLLECTION SYSTEM

a. Check appropriate box concerning collection system

- New collection system Pump Station Force Main
 Grinder pump(s) Extension to existing collection system Expansion of existing facility

Clean Streams Law Permit Number _____

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 100 Redirected
Connections Sewer Relocation

Name of:

existing collection or conveyance system Elizabethtown Regional Sewer Authority Sewer System

owner Elizabethtown Regional Sewer Authority (ERSA)

existing interceptor Maytown Road West Ridge Interceptor

owner ERSA

2. WASTEWATER TREATMENT FACILITY

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility Existing facility Upgrade of existing facility Expansion of existing facility

Name of existing facility Elizabethtown Wastewater Treatment Plant

NPDES Permit Number for existing facility PA002318

Clean Streams Law Permit Number _____

Location of discharge point for a new facility. Latitude _____ Longitude _____

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the Elizabethtown Borough WWTP
(Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality Elizabethtown Borough

Name of Responsible Agent Ann Roda

Agent Signature Ann Roda Date 04/07/2026

(Also see Section I. 4.)

NOTE: This project will not change flows tributary to WWTP.

G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)

3. PLOT PLAN

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

4. WETLAND PROTECTION

YES NO

- a. Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b. Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, Identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

5. PRIME AGRICULTURAL LAND PROTECTION

YES NO

- Will the project involve the disturbance of prime agricultural lands?
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

6. HISTORIC PRESERVATION ACT

- Applicants shall coordinate with the State Historic and Preservation Office (SHPO) and the Pennsylvania Historic and Museum Commission (PHMC) using the PA-SHARE online consultation tool at <https://www.pa.gov/agencies/phmc/pa-share.html>. The planning submittal must include the response received by the applicant from PA-SHARE.

7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A Manual Project Submission Form was submitted to each jurisdictional agency and their responses are attached.
- A concurrent review has been requested. I realize that all supporting documentation from each jurisdictional agency must be submitted to the DEP before the end of the technical review due date or my planning module may be denied.

Applicant or Consultant Initials AF.

H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.

The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS (See Section I of instructions) (Check and complete all that apply.)

1. Waters designated for Special Protection

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c. is attached.

2. Pennsylvania Waters Designated As Impaired

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

3. Interstate and International Waters

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

4. Tributaries To The Chesapeake Bay

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: _____ pounds of TN per year, and _____ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is 109,500 pounds per year and the total phosphorus capacity is 13,688 pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality Elizabethtown Borough

Initials of Responsible Agent (See Section G 2.b) AR

See *Special Instructions* (Form 3800-FM-BPNPSM0353-1) for additional information on Chesapeake Bay watershed requirements.

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows Redirecting 23,500 gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing “treatment facilities” sewage flows, use Annual Average Daily Flow for “average” and Maximum Monthly Average Daily Flow for “peak” in all cases. For “peak flows” in “collection” and “conveyance” facilities, indicate whether these flows are “peak hourly flow” or “peak instantaneous flow” and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection (Maytown Int.)	4,420,000	4,420,000	310,000	775,000	333,500	833,750
Conveyance (Miller PS)	2,500,000	2,500,000	366,000	915,000	389,500	973,750
Treatment (Boro. WWTP)	4,500,000	7,200,000	2,389,000	3,313,000	2,544,700	3,210,000

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a. YES NO This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

- b. Collection System

Name of Agency, Authority, Municipality Elizabethtown Regional Sewer Authority

Name of Responsible Agent Steve Rettew

Agent Signature [Signature] Date 3/19/26

J. CHAPTER 94 CONSISTENCY DETERMINATION (See Section J of instructions)

c. Conveyance System

Name of Agency, Authority, Municipality Elizabethtown Regional Sewer Authority

Name of Responsible Agent Steve Rettew

Agent Signature [Signature]

Date 3/19/26

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

a. YES NO This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

b. Name of Agency, Authority, Municipality Elizabethtown Borough

Name of Responsible Agent Ann Roda

Agent Signature Ann Roda

Date 04/07/2026

K. TREATMENT AND DISPOSAL OPTIONS (See Section K of instructions) **NOT APPLICABLE**

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may NOT receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

- 1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
- 2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
- 3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
- 4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

L. PERMEABILITY TESTING (See Section L of instructions) **NOT APPLICABLE**

The information required in Section L of the instructions is attached.

M. PRELIMINARY HYDROGEOLOGIC STUDY (See Section M of instructions) **NOT APPLICABLE**

The information required in Section M of the instructions is attached.

N. DETAILED HYDROGEOLOGIC STUDY (See Section N of instructions) **NOT APPLICABLE**

The detailed hydrogeologic information required in Section N. of the instructions is attached.

O. SEWAGE MANAGEMENT (See Section O of instructions) **NOT APPLICABLE**

(1-3 for completion by the developer(project sponser), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1. Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows _____ gpd

Yes No

3. Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

(For completion by non-municipal facility agent)

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System
Name of Responsible Organization _____
Name of Responsible Agent _____
Agent Signature _____
Date _____

- c. Conveyance System
Name of Responsible Organization _____
Name of Responsible Agent _____
Agent Signature _____
Date _____

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a. If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility _____
Name of Responsible Agent _____
Agent Signature _____
Date _____

(For completion by the municipality)

6. The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

P. PUBLIC NOTIFICATION REQUIREMENT (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1. Does the project propose the construction of a sewage treatment facility ?
2. Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3. Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4. Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5. Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6. Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)
7. Does the project involve a major change in established growth projections?
8. Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?

P. PUBLIC NOTIFICATION REQUIREMENT cont'd. (See Section P of instructions)

- 9. Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
- 10. Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
- 11. Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
 - the public notice,
 - all comments received as a result of the notice,
 - the municipal response to these comments.
- No comments were received. A copy of the public notice is attached.

Q. FALSE SWEARING STATEMENT (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA C.S.A. §4904 relating to unsworn falsification to authorities.

Andrew Ferko	<i>Andrew R. Ferko</i>
Name (Print)	Signature
Professional Engineer	03/13/2026
Title	Date
3020 Columbia Avenue, Lancaster, PA 17603	717-344-5031
Address	Telephone Number

R. REVIEW FEE (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor **OR** the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$_____ payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County Recorder of Deeds for _____ County, Pennsylvania

Deed Volume _____ Book Number _____

Page Number _____ Date Recorded _____

R. REVIEW FEE (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\# \text{ _____ Lots (or EDUs) X } \$50.00 = \$ \text{ _____}$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
 - For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.
2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)

\$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

$$\# \text{ _____ Lots (or EDUs) X } \$35.00 = \$ \text{ _____}$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
- For non-single family residential projects, EDUs are calculated using projected population figures

- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:

\$ 1,500 per submittal (non-municipal)

\$ 500 per submittal (municipal)

ATTACHMENT 1 - NARRATIVE

PROJECT NARRATIVE

The Oak Manor Pump Station, owned and operated by Elizabethtown Borough, is located in Elizabethtown Borough, Lancaster County, Pennsylvania, between the intersections of South Market Street with Carey Lane and Anchor Road. In addition to the Borough's flows, the Oak Manor Pump Station also currently receives flow from the Elizabethtown Regional Sewer Authority (ERSA). To reduce the hydraulic load on this facility, ERSA will divert its flows from the Oak Manor Pump Station to ERSA's Miller Road Pump Station, located along Miller Road in West Donegal Township.

The project includes redirecting approximately 100 EDUs worth of sewage flows (23,500 gpd) currently tributary to the Borough's Oak Manor Pump Station to the Maytown Road West Ridge Interceptor, which discharges to ERSA's Miller Road Pump Station, and ultimately to the Borough's WWTP (PA002318). Work will involve installation of approximately 800 LF of new 8" gravity sanitary sewer, 3 new manholes and rehabilitating 2 manholes in two non-contiguous areas along Sheaffer Road and Market Street. The project is located in both Mount Joy Township and West Donegal Township, and therefore, sewage planning material is included in this package for both municipalities (e.g. transmittal letter, checklist, etc.)

Based on a preliminary study of the system completed by RETTEW in June 2025, hydraulic modeling confirmed that sufficient capacity is present in ERSA's Interceptor and the Miller Road Pump Station. No capacity increase of downstream facilities is proposed as part of this project. Note that the flows from Oak Manor Pump Station ultimately discharge to the Borough WWTP, as well as the flows from the Miller Road Pump Station. Therefore, this project will not increase the amount of flow tributary to the Borough WWTP.

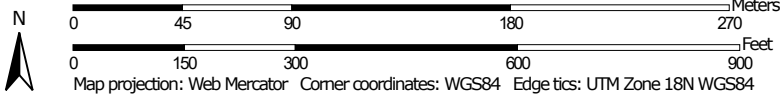
ATTACHMENT 2 – TOPOGRAPHIC MAP

ATTACHMENT 3 – PRIME AGRICULTURAL FARMALANDS

Custom Soil Resource Report Map—Farmland Classification




Map Scale: 1:3,110 if printed on A landscape (11" x 8.5") sheet.



Custom Soil Resource Report









MAP LEGEND








Area of Interest (AOI)






 Area of Interest (AOI)








Soils



Soil Rating Polygons

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season









-  Prime farmland if subsoiled, completely removing the root inhibiting soil layer
-  Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
-  Prime farmland if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance
-  Farmland of statewide importance, if drained
-  Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated

-  Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if irrigated and drained
-  Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer
-  Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60






































-  Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium
-  Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season
-  Farmland of statewide importance, if warm enough
-  Farmland of statewide importance, if thawed
-  Farmland of local importance
-  Farmland of local importance, if irrigated

-  Farmland of unique importance
-  Not rated or not available

Soil Rating Lines

-  Not prime farmland
-  All areas are prime farmland
-  Prime farmland if drained
-  Prime farmland if protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated
-  Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season
-  Prime farmland if irrigated and drained
-  Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season

Custom Soil Resource Report

 Prime farmland if subsoiled, completely removing the root inhibiting soil layer	 Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season	 Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium	 Farmland of unique importance	 Prime farmland if subsoiled, completely removing the root inhibiting soil layer
 Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60	 Farmland of statewide importance, if irrigated and drained	 Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season	 Not rated or not available	 Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
 Prime farmland if irrigated and reclaimed of excess salts and sodium	 Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season	 Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season	Soil Rating Points  Not prime farmland	 Prime farmland if irrigated and reclaimed of excess salts and sodium
 Farmland of statewide importance	 Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer	 Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season	 Prime farmland if drained	 Prime farmland if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60
 Farmland of statewide importance, if drained	 Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60	 Farmland of statewide importance, if thawed	 Prime farmland if protected from flooding or not frequently flooded during the growing season	 Farmland of statewide importance
 Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season	 Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60	 Farmland of local importance	 Prime farmland if irrigated	 Farmland of statewide importance, if drained
 Farmland of statewide importance, if irrigated		 Farmland of local importance, if irrigated	 Prime farmland if drained and either protected from flooding or not frequently flooded during the growing season	 Farmland of statewide importance, if protected from flooding or not frequently flooded during the growing season
			 Prime farmland if irrigated and drained	 Farmland of statewide importance, if irrigated
			 Prime farmland if irrigated and either protected from flooding or not frequently flooded during the growing season	

Custom Soil Resource Report

<p> Farmland of statewide importance, if drained and either protected from flooding or not frequently flooded during the growing season</p>	<p> Farmland of statewide importance, if irrigated and reclaimed of excess salts and sodium</p>	<p> Farmland of unique importance</p> <p> Not rated or not available</p>	<p>The soil surveys that comprise your AOI were mapped at 1:15,800.</p>
<p> Farmland of statewide importance, if irrigated and drained</p>	<p> Farmland of statewide importance, if drained or either protected from flooding or not frequently flooded during the growing season</p>	<p>Water Features</p> <p> Streams and Canals</p>	<p>Warning: Soil Map may not be valid at this scale.</p> <p>Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.</p>
<p> Farmland of statewide importance, if irrigated and either protected from flooding or not frequently flooded during the growing season</p>	<p> Farmland of statewide importance, if warm enough, and either drained or either protected from flooding or not frequently flooded during the growing season</p>	<p>Transportation</p> <p> Rails</p> <p> Interstate Highways</p> <p> US Routes</p> <p> Major Roads</p> <p> Local Roads</p>	
<p> Farmland of statewide importance, if subsoiled, completely removing the root inhibiting soil layer</p>	<p> Farmland of statewide importance, if warm enough</p>	<p>Background</p> <p> Aerial Photography</p>	<p>Please rely on the bar scale on each map sheet for map measurements.</p>
<p> Farmland of statewide importance, if irrigated and the product of I (soil erodibility) x C (climate factor) does not exceed 60</p>	<p> Farmland of statewide importance, if thawed</p>		<p>Source of Map: Natural Resources Conservation Service Web Soil Survey URL: Coordinate System: Web Mercator (EPSG:3857)</p>
	<p> Farmland of local importance</p>		<p>Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.</p>
	<p> Farmland of local importance, if irrigated</p>		<p>This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.</p>
			<p>Soil Survey Area: Lancaster County, Pennsylvania Survey Area Data: Version 24, Sep 3, 2025</p>
			<p>Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.</p>
			<p>Date(s) aerial images were photographed: Jul 6, 2020—Nov 7, 2020</p>
			<p>The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.</p>

Table—Farmland Classification

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
LaB	Lansdale loam, 3 to 8 percent slopes	All areas are prime farmland	2.9	46.6%
LaC	Lansdale loam, 8 to 15 percent slopes	Farmland of statewide importance	0.6	9.1%
Uc	Urban land	Not prime farmland	2.8	44.3%
Totals for Area of Interest			6.3	100.0%

Rating Options—Farmland Classification

Aggregation Method: No Aggregation Necessary

Tie-break Rule: Lower

ATTACHMENT 4 – SHPO REVIEW LETTER



March 9, 2026

Sent Via PA-SHARE

RE: ER Project # 2026PR01096.001, Shaeffer Rd & Market St Sewer Relocation, Department of Environmental Protection, West Donegal Township, Lancaster County

Dear Submitter,

Thank you for submitting information concerning the above referenced project. The Pennsylvania State Historic Preservation Office (PA SHPO) reviews projects in accordance with state and federal laws. Section 106 of the National Historic Preservation Act of 1966, and the implementing regulations (36 CFR Part 800) of the Advisory Council on Historic Preservation, is the primary federal legislation. The Environmental Rights amendment, Article 1, Section 27 of the Pennsylvania Constitution and the Pennsylvania History Code, 37 Pa. Cons. Stat. Section 500 et seq. (1988) is the primary state legislation. These laws include consideration of the project's potential effects on both historic and archaeological resources.

Above Ground Resources

No Above Ground Concerns - Environmental Review - No Effect - Above Ground

Based on the information received and available within our files, it is our opinion that the proposed project will have No Effect on above ground historic properties, including historic buildings, districts, structures, and/or objects, should they exist. Should the scope of the project change and/or should you be made aware of historic property concerns, you will need to reinitiate consultation with our office using PA-SHARE.

For questions concerning above ground resources, please contact John Gardosik at jgardosik@pa.gov.

Archaeological Resources

No Archaeological Concerns - Environmental Review - No Effect - Archaeological

Based on the information received and available in our files, in our opinion, the proposed project should have No Effect on archaeological resources. Should the scope of the project be amended to include additional ground-disturbing activity and/or should you be made aware of historic property concerns regarding archaeological resources, you will need to reinitiate consultation with our office using PA-SHARE.

For questions concerning archaeological resources, please contact John Gardosik at jgardosik@pa.gov.

Sincerely,

A handwritten signature in black ink, appearing to read "B. Frederick". The signature is written in a cursive style with a large initial "B" and a distinct "F".

Barbara Frederick

Environmental Review Division Manager

ATTACHMENT 5 – PNDI

1. PROJECT INFORMATION

Project Name: **Shaeffer Rd & Market St Sewer Relocation**

Date of Review: **3/4/2026 08:20:09 AM**

Project Category: **Waste Transfer, Treatment, and Disposal, Liquid waste/Effluent, Sewer line maintenance-repair, replacement of existing line**

Project Area: **14.61 acres**

County(s): **Lancaster**

Township/Municipality(s): **Elizabethtown Borough; Mount Joy Township; West Donegal Township**

ZIP Code:

Quadrangle Name(s): **ELIZABETHTOWN**

Watersheds HUC 8: **Lower Susquehanna**

Watersheds HUC 12: **Conoy Creek**

Decimal Degrees: **40.137484, -76.582875**

Degrees Minutes Seconds: **40° 8' 14.9430" N, 76° 34' 58.3486" W**



2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	Conservation Measure	No Further Review Required, See Agency Comments
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

Pennsylvania Natural Diversity Inventory (PNDI) records indicate that while threatened and endangered and/or special concern species and resources are in the project vicinity and that recommended Conservation Measures should be implemented in their entirety to avoid and minimize impacts to these species, no further coordination is required with the jurisdictional agencies. If a DEP permit is required for this project, DEP has the discretion to incorporate one or more Conservation Measures into its permit. This response does not reflect potential agency concerns regarding potential impacts to other ecological resources, such as wetlands.

Shaeffer Rd & Market St Sewer Relocation





-  Buffered Project Boundary
-  Project Boundary



Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community

Shaeffer Rd & Market St Sewer Relocation



-  Buffered Project Boundary
-  Project Boundary



Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community

RESPONSE TO QUESTION(S) ASKED

Q1: Will the action include disturbance to trees such as tree cutting (or other means of knocking down, or bringing down trees, tree topping, or tree trimming), pesticide/herbicide application or prescribed fire?

Your answer is: No

Q2: Does the action area contain any caves (or associated sinkholes, fissures, or other karst features), mines, rocky outcroppings, culverts, or tunnels that could provide habitat for hibernating bats?

Your answer is: No

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE:

Conservation Measure: Potential impacts to state and federally listed species which are under the jurisdiction of both the Pennsylvania Game Commission (PGC) and the U.S. Fish and Wildlife Service may occur as a result of this project. As a result, the PGC defers comments on potential impacts to federally listed species to the U.S. Fish and Wildlife Service. No further coordination with the Pennsylvania Game Commission is required at this time.

PA Department of Conservation and Natural Resources

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Fish and Boat Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

U.S. Fish and Wildlife Service

RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.



5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552
Harrisburg, PA 17105-8552
Email: RA-HeritageReview@pa.gov

PA Fish and Boat Commission

Division of Environmental Services
595 E. Rolling Ridge Dr., Bellefonte, PA 16823
Email: RA-FBPACENOTIFY@pa.gov

U.S. Fish and Wildlife Service

Pennsylvania Field Office
Endangered Species Section
110 Radnor Rd; Suite 101
State College, PA 16801
Email: IR1_ESPenn@fws.gov
NO Faxes Please

PA Game Commission

Bureau of Wildlife Management
Division of Environmental Review
2001 Elmerton Avenue, Harrisburg, PA 17110-9797
Email: RA-PGC_PNDI@pa.gov
NO Faxes Please

7. PROJECT CONTACT INFORMATION

Name: Laura V. Hall
Company/Business Name: RETTEW Associates, Inc.
Address: 3020 Columbia Ave
City, State, Zip: Lancaster, PA 17603
Phone: (717) 205-2219 Fax: ()
Email: lhall@rettew.com

8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.



applicant/project proponent signature

3/4/26

date

ATTACHMENT 6 – ALTERNATIVES ANALYSIS

ALTERNATIVES ANALYSIS

The Oak Manor Pump Station, owned and operated by Elizabethtown Borough, is located in Elizabethtown Borough, Lancaster County, Pennsylvania, between the intersection of South Market Street with Carey Lane and Anchor Road. There are concerns about the station's ability to accommodate future flow demands, and the Borough is considering potential upgrades to the Facility. Two logical alternatives exist to ensure sufficient capacity remain in the pump station:

ALTERNATIVE 1 – REDIRECTING ERSAs CUSTOMERS' FLOWS

Alternative 1 proposes redirecting all flows generated by Elizabethtown Regional Sewer Authority (ERSA) customers that are currently tributary to the Oak Manor Pump Station to the ERSA Miller Road Pump Station. This change will involve redirecting 100 Equivalent Dwelling Units (EDUs). Flows will be redirected to the Maytown Road West Ridge Interceptor, which will then discharge to the Miller Road Pump Station. The existing interceptor piping and the Miller Road Pump Station, inclusive of the additional flow from ERSA's customers, possess adequate hydraulic capacity to manage this additional flow. A capacity review and evaluation of the interceptor did not reveal any capacity bottlenecks or constraints.

No upgrades to capacity are necessary to accommodate the additional flow resulting from the redirection of ERSA from the Oak Manor Pump Station to the Miller Road Pump Station. However, implementing this redirection will require realigning several upstream gravity sewer segments to establish a functional connection to the Maytown Road and West Ridge interceptor.

ALTERNATIVE 2 – UPGRADES TO THE OAK MANOR PUMP STATION

The second alternative considered to ensure adequate capacity remains in the Oak Manor Pump Station is to continue discharging ERSAs flows to the Oak Manor Pump station, and provide assistance to the Borough to expand the pump station when necessary. However, considering that sufficient capacity is available in the adjacent Miller Road Pump Station and Maytown Road Westridge Interceptor, and the flows can be redirected with minimal changes to the gravity sewer, it is both logical and a more cost-effective approach to redirect the customers. This alternative was given no further consideration.

RECOMMENDATIONS AND CONCLUSIONS

Based on the subsequent analysis, RETTEW recommends completing the following to redirect the flows generated by ERSA Customers.

- Install approximately 800 LF of 8" PVC gravity sewer along Sheaffer Road and Market Street.
- Install and/or rehabilitate 5 manholes along Sheaffer Road and Market Street.
- Cut and cap sections of existing gravity sewer along Mount Joy Street and Market Street

The implementation of the proposed enhancements will ensure the structural and operational integrity of the gravity sewer system while providing sufficient hydraulic capacity to convey and redirect existing

ERSA customers to the Miller Road Pump Station. The successful completion of the aforementioned installations will facilitate the redirection of flows and accommodate the anticipated future flow demands of the Oak Manor Pump Station.

ATTACHMENT 7 – PUBLIC NOTICE

PUBLIC NOTICE
FOR
ELIZABETHTOWN REGIONAL SEWAGE AUTHORITY AND WEST DONEGAL TOWNSHIP
SEWAGE FACILITIES PLANNING MODULE COMPONENT 3

NOTICE IS HEREBY GIVEN that the Elizabethtown Regional Sewer Authority (ERSA) and Mount Joy Township have developed a Component 3 Sewage Facilities Planning Module to update the Act 537 Plan for the Sheaffer Road and Market Street Sewer Relocation Project in accordance with Act 537, enacted January 24, 1966, P.L., 1535 (35 P.S. 750.1), known as Pennsylvania Sewage Facilities Act, as amended, and the Rules and Regulations of the Pennsylvania Department of Environmental Protection, Chapter 71 of Title 25 of the Pennsylvania Code.

Elizabethtown Borough is evaluating future upgrades to the Oak Manor Pump Station, located between South Market Street, Carey Lane, and Anchor Road, to ensure it can continue meeting the community's wastewater needs. To help reduce the station's current load, the Elizabethtown Regional Sewer Authority (ERSA) will redirect approximately 100 equivalent dwelling units (EDUs) of wastewater that now discharge to Oak Manor. These flows will be rerouted through the Maytown Road West Ridge Interceptors to ERSA's Miller Road Pump Station in West Donegal Township. The project will include the installation of approximately 800 LF of 8" gravity sewer, 3 new manholes and rehabilitating 2 manholes along Sheaffer Road and South Market Street.

This notice begins the required 30-day public comment period for the Sewage Facilities Planning Module Component 3. The Component 3 is available for review at the Mount Joy Township Building, 8853 Elizabethtown Rd, Elizabethtown, PA 17022 during normal office hours and at the Elizabethtown Regional Sewer Authority Office, 235 ERSA Drive, Elizabethtown, PA 17022. Comments must be written and may be mailed to Rettew Associates, Inc., 330 Innovation Boulevard, Suite 104, State College, PA 16803, or hand delivered to the Elizabethtown Regional Sewer Authority, 235 ERSA Drive, Elizabethtown, PA 17022.

Elizabethtown Regional Sewer Authority

PUBLIC NOTICE
FOR
ELIZABETHTOWN REGIONAL SEWAGE AUTHORITY AND WEST DONEGAL TOWNSHIP
SEWAGE FACILITIES PLANNING MODULE COMPONENT 3

NOTICE IS HEREBY GIVEN that the Elizabethtown Regional Sewer Authority (ERSA) and West Donegal Township have developed a Component 3 Sewage Facilities Planning Module to update the Act 537 Plan for the Sheaffer Road and Market Street Sewer Relocation Project in accordance with Act 537, enacted January 24, 1966, P.L., 1535 (35 P.S. 750.1), known as Pennsylvania Sewage Facilities Act, as amended, and the Rules and Regulations of the Pennsylvania Department of Environmental Protection, Chapter 71 of Title 25 of the Pennsylvania Code.

Elizabethtown Borough is evaluating future upgrades to the Oak Manor Pump Station, located between South Market Street, Carey Lane, and Anchor Road, to ensure it can continue meeting the community's wastewater needs. To help reduce the station's current load, the Elizabethtown Regional Sewer Authority (ERSA) will redirect approximately 100 equivalent dwelling units (EDUs) of wastewater that now discharge to Oak Manor. These flows will be rerouted through the Maytown Road West Ridge Interceptor to ERSA's Miller Road Pump Station in West Donegal Township. The project will include the installation of approximately 800 LF of 8" gravity sewer, 3 new manholes and rehabilitating 2 manholes along Sheaffer Road and South Market Street.

This notice begins the required 30-day public comment period for the Sewage Facilities Planning Module Component 3. The Component 3 is available for review at the West Donegal Township Building, 1 Municipal Drive, Elizabethtown, PA 17022 during normal office hours and at the Elizabethtown Regional Sewer Authority Office, 235 ERSA Drive, Elizabethtown, PA 17022. Comments must be written and may be mailed to Rettew Associates, Inc., 330 Innovation Boulevard, Suite 104, State College, PA 16803, or hand delivered to the Elizabethtown Regional Sewer Authority, 235 ERSA Drive, Elizabethtown, PA 17022.

Elizabethtown Regional Sewer Authority

ATTACHMENT 8 – RESOLUTIONS



DEP Code No.

RESOLUTION FOR PLAN REVISION FOR NEW LAND DEVELOPMENT

RESOLUTION OF SUPERVISORS of MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the *Pennsylvania Sewage Facilities Act*, as Amended, and the rules and Regulations of the Pennsylvania Department of Environmental Protection (DEP) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new land development conforms to a comprehensive program of pollution control and water quality management, and

WHEREAS Elizabethtown Regional Sewer Authority (Owner) has proposed to divert the existing 100 EDUs from the Elizabethtown Borough Oak Manor Pump Station to the ERSA owned and operated Miller Road Pump Station via the Maytown Road West Ridge Interceptor, which discharges ultimately to the Miller Road Pump Station.

WHEREAS, Mount Joy Township finds that the sewer relocation described in the attached Sewage Facilities Planning Module conforms to applicable sewage related zoning and other sewage related municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

NOW, THEREFORE, BE IT RESOLVED that the Supervisors of the Township of Mount Joy hereby adopt and submit to DEP for its approval as a revision to the "Official Sewage Facilities Plan" of the municipality the above referenced Sewage Facilities Planning Module which is attached hereto.

I _____, Secretary, Mount Joy Township Board of Supervisors, hereby certify that the foregoing is a true copy of

the Township Resolution # _____, adopted, _____, 20_____.

Municipal Address:

*Seal of
Governing Body*

Telephone _____



DEP Code No.

RESOLUTION FOR PLAN REVISION FOR NEW LAND DEVELOPMENT

RESOLUTION OF SUPERVISORS of WEST DONEGAL TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA (hereinafter "the municipality").

WHEREAS Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the *Pennsylvania Sewage Facilities Act*, as Amended, and the rules and Regulations of the Pennsylvania Department of Environmental Protection (DEP) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new land development conforms to a comprehensive program of pollution control and water quality management, and

WHEREAS Elizabethtown Regional Sewer Authority (Owner) has proposed to divert the existing 100 EDUs from the Elizabethtown Borough Oak Manor Pump Station to the ERSA owned and operated Miller Road Pump Station via the Maytown Road West Ridge Interceptor, and ultimately to the Miller Road Pump Station.

WHEREAS, West Donegal Township finds that the sewer relocation described in the attached Sewage Facilities Planning Module conforms to applicable sewage related zoning and other sewage related municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

NOW, THEREFORE, BE IT RESOLVED that the Supervisors of the Township of West Donegal hereby adopt and submit to DEP for its approval as a revision to the "Official Sewage Facilities Plan" of the municipality the above referenced Sewage Facilities Planning Module which is attached hereto.

I _____, Secretary, West Donegal Township Board of Supervisors, hereby certify that the foregoing is a true copy of

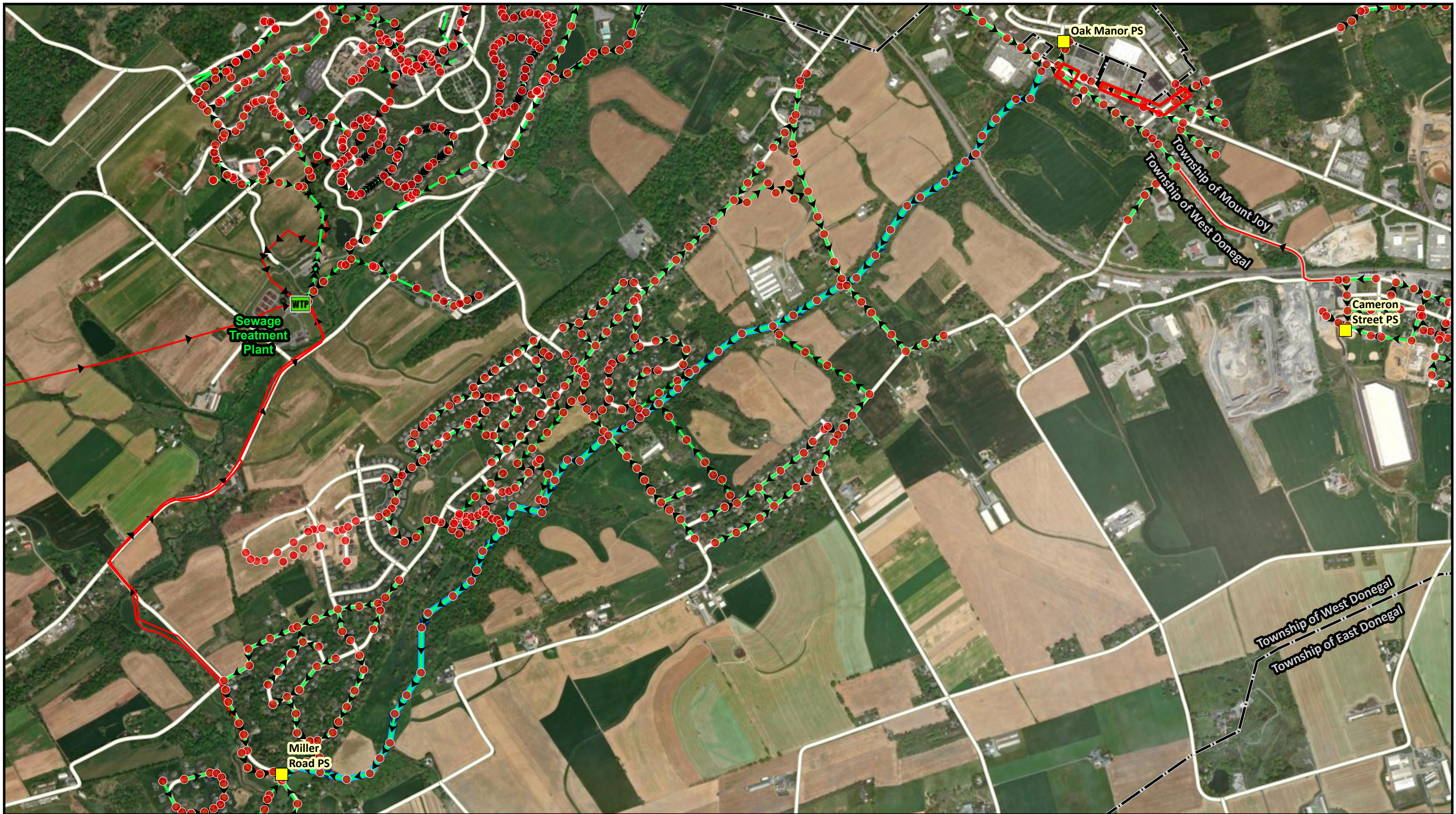
the Township Resolution # _____, adopted, _____, 20_____.

Municipal Address:

Seal of
Governing Body

Telephone _____

ATTACHMENT 9 – CONVEYANCE MAP



Elizabethtown Regional Sewer Authority
Sheaffer Road and Market Street Gravity Sanitary Relocation Project
Flow Path Map
 West Donegal & Mount Joy Townships, Lancaster County, PA
 Project No. 0090305320

Pumping Station	Flow Path	Road
Treatment Plant	Gravity Main	Project Location
Standard Manhole	Force Main	Municipal Boundary

North arrow pointing up.

Scale bar: 0 to 1200 Feet. 1 inch = 1,200 feet.

Imagery World Imagery: Vantor

RETTEW
ERSA

3/18/2026 **Sheet 1 of 1**

Drawn by: nathaniel.houser; \\EgnyteDrive\rettew\Shared\Projects\00903\0090305320 - Sheaffer Rd and Market St Relocation\GIS\MapDocs\0090305320_Mapping.aprx

ATTACHMENT 10 – DRAWINGS

SHEAFFER RD. & MARKET ST. GRAVITY SANITARY RELOCATION FOR ELIZABETHTOWN REGIONAL SEWER AUTHORITY

MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

PA ONE CALL UNDERGROUND UTILITY PROTECTION ACT

PURSUANT TO THE PROVISIONS OF ACT NO. 287 OF 1974, AS AMENDED BY ACT 187 OF 1996, ACT 181 OF 2006, ACT 160 OF 2016 AND ACT 50 OF 2017 OF THE PENNSYLVANIA STATE LEGISLATURE, RETTEW ASSOCIATES, INC. HAS PERFORMED THE FOLLOWING IN PREPARING THESE DRAWINGS REQUIRING EXCAVATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION(S) SHOWN ON THE DRAWINGS:

1. PURSUANT TO SECTION 4, CLAUSE (2) OF SAID ACT, RETTEW ASSOCIATES, INC. REQUESTED FROM EACH FACILITY OWNER DESIGNATED ON SUCH LIST PROVIDED BY THE ONE CALL SYSTEM NOTIFICATION, THE INFORMATION PRESCRIBED BY SECTION 2, CLAUSE (4) OF SAID ACT, NOT LESS THAN TEN (10) NOR MORE THAN NINETY (90) BUSINESS DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED.
2. PURSUANT TO SECTION 4, CLAUSE (5) OF SAID ACT, RETTEW ASSOCIATES, INC. HAS MET THEIR OBLIGATIONS OF CLAUSE (2) BY CALLING THE PENNSYLVANIA ONE CALL SYSTEM SERVING THE LOCATION WHERE THE WORK IS TO BE PERFORMED, AND SHOWING THE ASSOCIATED SERIAL NUMBER(S) ON THIS/THESE DRAWING(S).
3. PURSUANT TO SECTION 4, CLAUSE (3) OF SAID ACT, RETTEW ASSOCIATES, INC. HAS SHOWN UPON THIS/THESE DRAWING(S) THE POSITION AND TYPE OF EACH FACILITY, AS DERIVED PURSUANT TO THE REQUEST MADE AS REQUIRED BY CLAUSE (2).
4. PURSUANT TO SECTION 4, CLAUSE (5) OF SAID ACT, RETTEW ASSOCIATES, INC. HAS SHOWN UPON THIS/THESE DRAWING(S) THE TOLL-FREE NUMBER FOR THE ONE CALL SYSTEM AND THE SERIAL NUMBER(S) FOR THE ASSOCIATED ONE CALL SYSTEM NOTIFICATION(S).

ADDITIONALLY, RETTEW ASSOCIATES, INC. DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO SAID REQUEST, AND AS REFLECTED ON THIS/THESE DRAWING(S), IS CORRECT OR ACCURATE. INFORMATION REFLECTED ON THIS/THESE DRAWING(S) IS SHOWN AS REQUIRED BY SAID ACT NO. 160 OF 2016, AND AS PROVIDED BY THE FACILITY OWNER PURSUANT TO SECTION 2, CLAUSE (4) OF SAID ACT.

DATE: 01/21/2026

ONE CALL SYSTEM SERIAL NUMBER: 20260212055, 20260212056, 20260212057



1-800-242-1776

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES THREE (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND TEN (10) WORKING DAYS IN DESIGN STAGE - STOP CALL

IT IS THE CLIENT'S RESPONSIBILITY TO NOTIFY RETTEW NO LESS THAN 10 DAYS AND NO MORE THAN 90 DAYS PRIOR TO THE CONSTRUCTION BEGIN DATE. THIS NOTIFICATION WILL ALLOW US TO UPDATE THE 811 ONE CALL TICKETS ASSOCIATED WITH THIS PROJECT, WHICH IS A REQUIREMENT UNDER ACT 287.

LIST OF UTILITIES

COMPANY: CABLE PROTECTION SERVICES INC
ADDRESS: PO BOX 4816
MIDLOTHIAN, VA. 23112
CONTACT: DEBBIE KING
EMAIL: debbie_king@cableps.com
PHONE: 804-562-3409

COMPANY: USIC
ADDRESS: 9045 RIVER RD
STE 300
INDIANAPOLIS, IN. 46240-6400
CONTACT: RICKY COVINGTON
EMAIL: rickycovington@usicllc.com
PHONE: 317-671-3653

COMPANY: ELIZABETHTOWN AREA WATER AUTHORITY
ADDRESS: 211 W HUMMELSTOWN ST
ELIZABETHTOWN, PA. 17022
CONTACT: AUSTIN CALAMAN
EMAIL: acalaman@etown-water.com
PHONE: 717-367-7448 EXT. 101

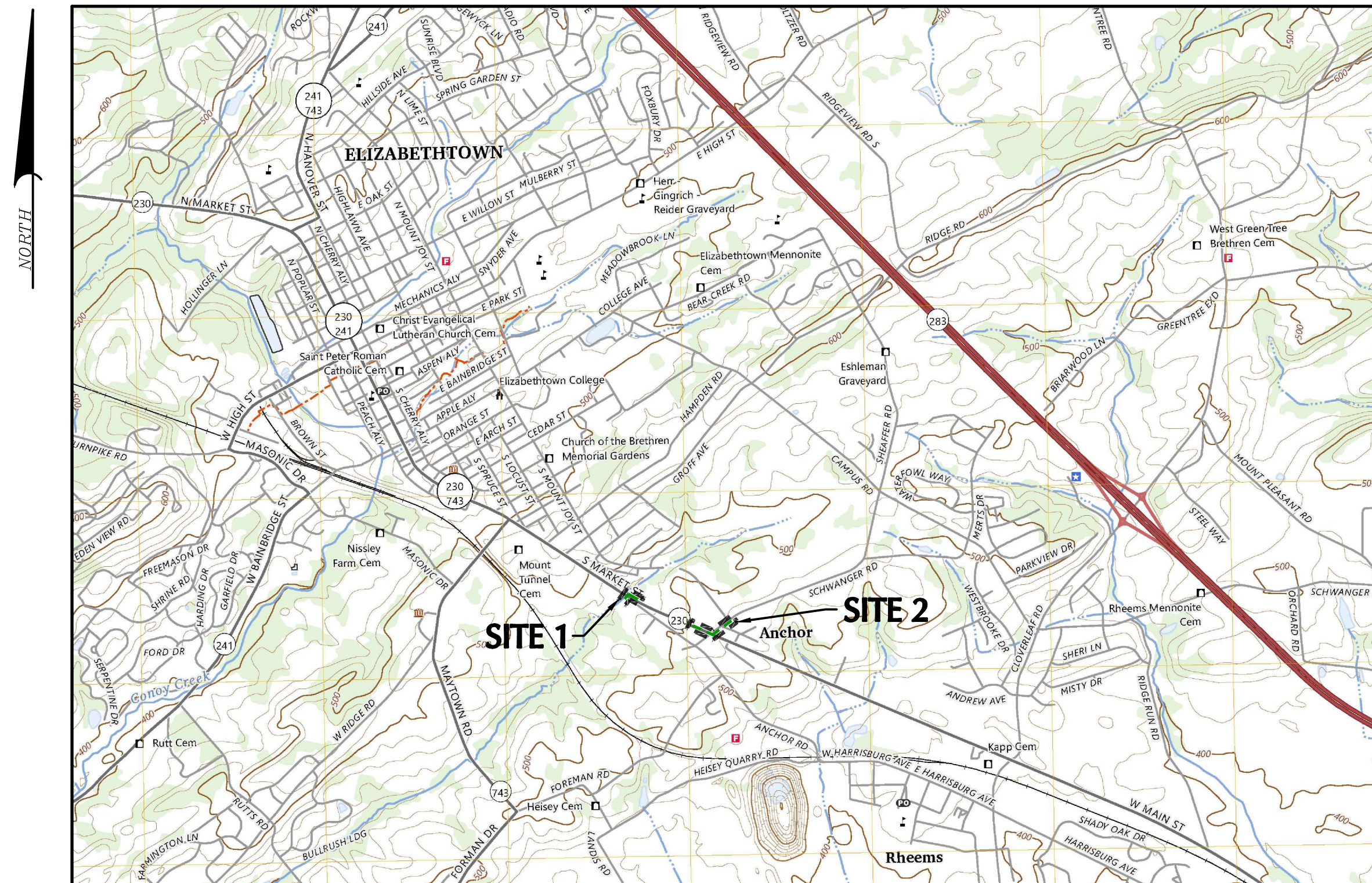
COMPANY: ELIZABETHTOWN REGIONAL SWR AUTHORITY
ADDRESS: 235 ERS A DR
ELIZABETHTOWN, PA. 17022
CONTACT: BROCK MILLER
EMAIL: brock@ersopa.com
PHONE: 717-367-5947

COMPANY: PENNSYLVANIA ELECTRIC CO
ADDRESS: 341 WHITE POND DRIVE
AKRON, OH. 44320
CONTACT: MELLYSSA ADAMS
EMAIL: madams@firstenergycorp.com
PHONE: 330-252-4013

COMPANY: PPL ELECTRIC UTILITIES CORPORATION
ADDRESS: 4810 LYCOMING MALL
MONTGOMERY, PA. 17754
CONTACT: PAMELA SEITZER
EMAIL: pdseitzer@pplweb.com
PHONE: 570-368-5394

COMPANY: UGI UTILITIES INC
ADDRESS: 1301 AIP DR
MIDDLETOWN, PA. 17057
CONTACT: GEOFFREY FERGUSON
EMAIL: GFERGUSON@UGI.COM
PHONE: 610-807-3118

COMPANY: DAVID MILLER ASSOCIATES INC
ADDRESS: 1076 CENTERVILLE ROAD
LANCASTER, PA. 17601
CONTACT: SCOTT HAIN
EMAIL: SHAIN@DMAI.COM
PHONE: 717-898-3402 EXT. 116



ELIZABETHTOWN, PA USGS 7.5' TOPOGRAPHIC QUADRANGLE

SITE LOCATION MAP

SCALE: 1"=2000'

APRIL 2026

AUTHORITY MEMBERS

CHAIRMAN	DAVE SWEIGART III
VICE-CHAIRMAN	ROGER SYNDER
SECRETARY	NICK VISCOME
ASSISTANT SECRETARY	KEITH MURPHY
TREASURER	KENNETH L. SHAFFER
ASSISTANT TREASURER	RICHARD A. ERB

SOLICITOR

NIKOLAUS AND HOHNADL - JEFF SHANK

DRAWING INDEX

G-01	COVER SHEET
G-02	NOTES AND LEGENDS
G-03	SHEET INDEX PLAN
C-01	PROPOSED SANITARY PLAN AND PROFILE I
C-02	PROPOSED SANITARY PLAN I
C-03	PROPOSED SANITARY PLAN AND PROFILE II
C-04	SANITARY PIPING DETAILS I
C-05	TRENCH & GRADE RESTORATION DETAILS I
EC-01	EROSION & SEDIMENTATION CONTROL NOTES
EC-02	EROSION & SEDIMENTATION CONTROL DETAILS

FOR RETTEW ASSOCIATES BY:									
MANAGER:	ABRAHAM KING	DESIGN BY:	CHKO BY:	CHKO BY:	CHKO BY:	CHKO BY:	CHKO BY:	CHKO BY:	CHKO BY:
		ADP	AJK	ADP	ADP	ADP	ADP	ADP	ADP
CLIENT:	ELIZABETHTOWN REGIONAL SEWER AUTHORITY								
	235 ERS A DRIVE ELIZABETHTOWN, PA. 17034 CONTACT: STEVEN RETTEW								
PROJ. NO.	0090305320								
DWG. NO.	G-01								
RETTEW RETTEW Associates, Inc. 3020 Columbia Avenue, Lancaster, PA 17603 Phone (800) 738-8395 Email: rettew@rettew.com Website: www.rettew.com Engineers • Planners • Surveyors • Landscape Architects Environmental Consultants									
SHEAFFER RD. & MARKET ST. GRAVITY SEWER RELOCATION FOR ELIZABETHTOWN REGIONAL SEWER AUTHORITY COVER SHEET									
MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA									
CONTRACT No. ERS A 2027-01									

SURVEY NOTES

1. BASIS OF BEARINGS IS PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, PA SOUTH ZONE, NAD 83-2011.
2. BENCHMARK #1 IS A DRILL HOLE IN THE CURB ALONG THE NORTH SIDE OF SOUTH MARKET STREET (S.R. 0230).
ELEVATION = 462.09 (NAVD-88 DATUM).

BENCHMARK #2 IS A SQUARE CUT IN THE SIDEWALK ALONG THE SOUTH SIDE OF SOUTH MARKET STREET (S.R. 0230).
ELEVATION = 511.86 (NAVD-88 DATUM).
3. UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION AND PA ONE CALL UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION. PA ONE CALL NOTIFICATION SERIAL NUMBER IS 20260212055-000 DATED JANUARY 14, 2026. (RETTEW CANNOT GUARANTEE THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES. AN EXACT LOCATION CAN ONLY BE OBTAINED BY SUBSURFACE EXPLORATION, WHICH IS NOT A PART OF THIS CONTRACT PERFORMANCE).
4. A FIELD SURVEY WAS PERFORMED BY RETTEW ASSOCIATES, INC. IN JANUARY, 2026.
5. ROAD RIGHT OF WAYS WERE BASED ON RECORDED SUBDIVISION PLANS.

GENERAL NOTES

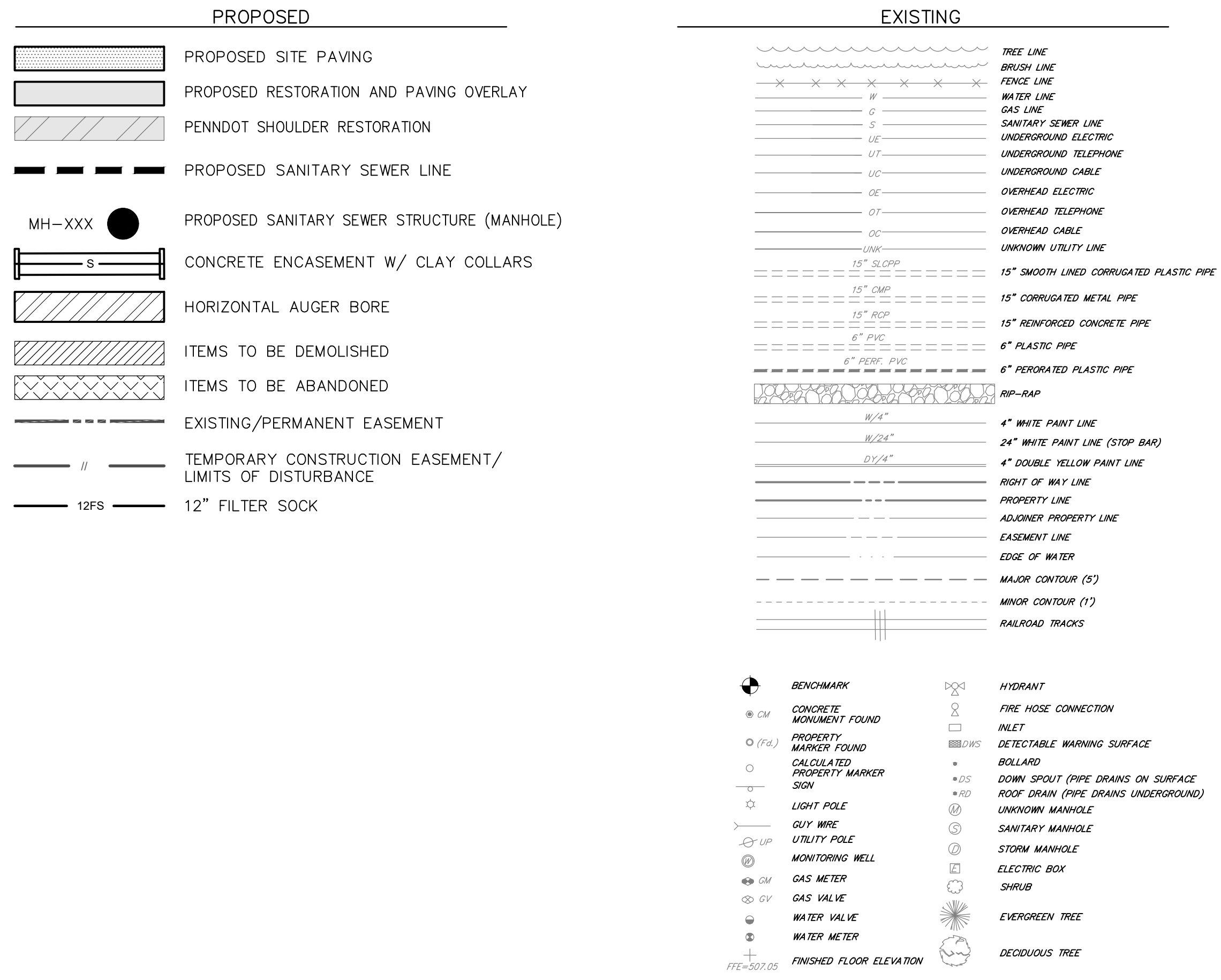
1. PRIOR TO THE START OF CONSTRUCTION, INFORM ALL AREA UTILITY COMPANIES OF PLANNED CONSTRUCTION IN ACCORDANCE WITH THE PENNSYLVANIA ACT 187 REQUIREMENTS.
2. CONTACT THE PA ONE CALL SYSTEM AT 1-800-242-1776 THREE WORKING DAYS BEFORE EXCAVATION BEGINS FOR FIELD LOCATION OF FACILITIES.
3. THE PROJECT DRAWINGS ARE GENERALLY DIAGRAMMATIC IN INDICATING THE PRESENCE OF EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL MAKE EVERY REASONABLE ATTEMPT TO LOCATE ALL UTILITY LINES PRIOR TO COMMENCING WITH THE EXCAVATION OF ANY AFFECTED AREA. WHEN THE UTILITIES ARE TO BE LEFT IN PLACE, THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF SUPPORT AND PROTECTION DURING THE EXCAVATION AND BACKFILLING OPERATIONS. THERE SHALL BE NO CLAIM AGAINST THE OWNER MADE BY THE CONTRACTOR FOR WORK PERTAINING TO MODIFICATIONS, AS MAY BE REQUIRED, DUE TO ANY DIFFERENCE BETWEEN ACTUAL FIELD CONDITIONS AND THOSE SHOWN BY THE DETAILS AND DIMENSIONS ON THE CONTRACT PLANS.
4. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITIES BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR CLARIFICATION BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.
5. ALL SEWER LINE CONSTRUCTION SHALL BE IN ACCORDANCE WITH INSTALLATION MATERIALS AND SPECIFICATIONS OF ERSA.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF DAMAGED OR DESTROYED LANDSCAPE.
7. ANY ADJUSTMENTS MADE BY THE CONTRACTOR TO THE LINE AND GRADE OF ANY SEWER LINE SHOWN ON THE CONTRACT DRAWINGS SHALL BE REVIEWED BY THE ENGINEER AND ANY OTHER AGENCIES HAVING JURISDICTION PRIOR TO ITS INCORPORATION INTO THE WORK UNLESS OTHERWISE INDICATED AT A SPECIFIC LOCATION, ALL FINISHED GRADES ARE TO CONFORM TO AND MATCH EXISTING GRADES.
8. UNLESS OTHERWISE INDICATED AT A SPECIFIC LOCATION, ALL FINISHED GRADES ARE TO CONFORM TO AND MATCH EXISTING GRADES.
9. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE UNDER 50 KV. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
10. THE CONTRACTOR SHALL DOCUMENT PRE-CONSTRUCTION CONDITIONS WITH DIGITAL PHOTO AND VIDEO ALONG THE ENTIRE ALIGNMENT ON A SUNNY DAY (PER SECTION 01300).
11. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A COPY OF ALL PERMITS RELATED TO THE CONSTRUCTION SHOWN ON THESE PLANS ON THE JOB SITE AT ALL TIMES. ALL WORK SHALL CONFORM TO THE PERMIT CONDITIONS AND REQUIREMENTS.
12. THE CONTRACTOR WILL BE WORKING IN CLOSE PROXIMITY TO EXISTING UTILITIES AND STRUCTURES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING UTILITIES AND STRUCTURES, ALL DAMAGES WILL BE REPAIRED IMMEDIATELY AT CONTRACTORS EXPENSE. BLASTING IS NOT PERMITTED AT ANY TIME DURING THE PROJECT.
13. CONTRACTOR SHALL PAY ALL COSTS ASSOCIATED WITH THE RESIDENT PROJECT REPRESENTATIVE'S TIME AND TRAVEL IN THE EVENT THAT A SCHEDULED TEST OR SITE VISIT IS CANCELED BY THE CONTRACTOR WITHOUT ADVANCE NOTIFICATION TO THE RESIDENT PROJECT REPRESENTATIVE BY 6:00 PM OF THE PREVIOUS WORK DAY.
14. AT CONNECTIONS TO EXISTING SANITARY SEWER LINES, THE CONTRACTOR SHALL EXPOSE THE EXISTING PIPE PRIOR TO INSTALLATION TO VERIFY THE LOCATION AND EXISTING PIPE MATERIAL AND OUTSIDE DIAMETER PRIOR TO INITIATING WORK IN THE AREA OF CONNECTION.
15. WHEN THE EDGE OF ANY EXCAVATION IS WITHIN FIVE FEET OF ANY POWER POLE, THE CONTRACTOR SHALL CONTACT THE POLE OWNER A MINIMUM OF 72 HOURS PRIOR TO BEGINNING WORK TO REQUEST THAT THE POLE BE SUPPORTED BY THE POLE OWNER.
16. WORK TRENCHES SHALL BE BACKFILLED AT THE END OF EACH WORK DAY, UNLESS OTHERWISE APPROVED IN WRITING BY THE ENGINEER.
17. ALL EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED.
18. PAVED AND CONCRETE AREAS SHALL BE BUSHED CLEAN AT THE END OF EACH DAYS WORK TO REMOVE ALL SOIL.
19. DISTURBED AREAS OUTSIDE OF THE PAVEMENT SHALL BE RESTORED WITHIN 3 DAYS OF THE COMPLETION OF THE WORK IN EACH AREA.
20. CURB AND SIDEWALK REPLACEMENT SHALL CONFORM TO THE APPLICABLE TOWNSHIP STANDARDS AND PENNDOT STANDARDS. CONCRETE SHALL BE PLACED ON COMPACTED SUBGRADE.
21. PAVEMENT MARKINGS DISTURBED BY THE CONTRACTOR DURING THE PROJECT SHALL BE REPLACED WITH PAINTED MARKINGS CONFORMING TO PENNDOT STANDARDS THE PROJECT SPECIFICATIONS.
22. THE PLAN LOCATIONS AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE AUTHORITY ENGINEER. PLAN CHANGES, SHOULD THEY BE REQUIRED, ARE SUBJECT TO APPROVAL BY THE AUTHORITY AND ENGINEER.
23. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER OR OTHERS. INTERRUPTIONS SHALL OCCUR ONLY AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
24. ALL WORK AREAS AT THE SITE SHALL BE COMPLETELY SECURED, CONFORMING WITH OSHA REGULATIONS AND TO THE SATISFACTION OF THE ENGINEER, TO PROTECT THE PUBLIC AND PREVENT UNAUTHORIZED ENTRY.
25. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE EROSION AND DUST CONTROL AT ALL TIMES.
26. CONSTRUCTION WARRANTY AND WARRANTY SECURITY PERIOD: CONTRACTOR SHALL WARRANTY OWNER AGAINST DEFECTS IN MATERIAL AND WORKMANSHIP. THE CONTRACTOR SHALL PROVIDE A WRITTEN AND FULLY ASSIGNABLE WARRANTY THAT THE SYSTEM INSTALLED WILL BE AND REMAIN FREE FROM ALL DEFECTS, LATENT OR OTHERWISE WITH RESPECT TO WORKMAN-SHIP, MATERIALS, INSTALLATION, AND ACCURACY OF THE AS-BUILT DRAWINGS IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE BENEFICIAL USE OF THE FACILITIES.
27. CLEAN-UP: ALL SURPLUS MATERIALS OF CONSTRUCTION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR AS PART OF THE CONTRACT WITH THE OWNER.
28. JOBSITE SAFETY: WHILE ON THE JOBSITE, THE CONTRACTOR SHALL AT ALL TIMES OBSERVE ALL FEDERAL, STATE, AND LOCAL SAFETY RULES, REGULATIONS, AND LAWS. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY.
29. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES TO SUPPLY SERVICES TO THE SITE.

31. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER OR OTHERS. INTERRUPTIONS SHALL OCCUR ONLY AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
32. A MINIMUM SEPARATION OF 18" MUST BE MAINTAINED BETWEEN THE GRAVITY SEWER AND OTHER UTILITIES UNLESS NOTED OTHERWISE ON PLANS.
33. PIPING SHALL BE LAID FROM DOWN-GRADIENT END OF PIPE RUN IN AN UP-GRADIENT DIRECTION WITH BELL END FACING UPGRADE IN THE DIRECTION OF PIPE LAYING.
34. CONTRACTOR SHALL KEEP WORK WITH THE LIMITS OF DISTURBANCE IDENTIFIED IN THE EROSION AND SEDIMENT CONTROL PLANS DRAWINGS.

SEWER NOTES

1. THE TOTAL LENGTH OF EXCAVATED TRENCH OPEN AT ANY ONE TIME SHOULD NOT EXCEED THE TOTAL LENGTH OF UTILITY LINE THAT CAN BE PLACED IN THE TRENCH AND BACK-FILLED IN ONE WORKING DAY.
2. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING UNINTERRUPTED SANITARY SEWER FLOW THROUGHOUT THE DURATION OF THE PROJECT. THIS INCLUDES PROVIDING AND OPERATING ALL NECESSARY BYPASS PUMPING EQUIPMENT AND ASSOCIATED SYSTEMS TO ENSURE CONTINUOUS FLOW DURING CONSTRUCTION ACTIVITIES.
3. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY SANITARY SEWER OVERFLOW (SSO) THAT OCCURS AS A RESULT FOR THE WORK. THIS INCLUDES ALL LIABILITY FOR DAMAGES, AS WELL AS ANY FINES, PENALTIES, OR ENFORCEMENT ACTIONS IMPOSED BY LOCAL, STATE, OR FEDERAL REGULATORY AGENCIES.
4. GRAVITY SEWER SHALL BE INSTALLED WITH A MINIMUM OF 4' COVER.
5. WORK OF THE PROJECT SHALL BE IN ACCORDANCE WITH THE APPROVED PERMITS, AS IDENTIFIED IN THE PROJECT MANUAL.

LEGEND



ABBREVIATIONS

AWWA = AMERICAN WATER WORKS ASSOCIATION
 AC = TRANSITE (ASBESTOS CEMENT)
 BV = BUTTERFLY VALVE
 CE = CONSTRUCTION EASEMENT
 CI = CAST-IRON
 CO = CLEANOUT
 DEP = DEPARTMENT OF ENVIRONMENTAL PROTECTION
 DI = DUCTILE IRON
 DICL = DUCTILE IRON CEMENT LINED
 DIA = DIAMETER
 DIP = DUCTILE IRON PIPE
 EL = ELEVATION
 EP = EDGE OF PAVEMENT
 EX = EXISTING
 EXIST = EXISTING
 E&SC = EROSION AND SEDIMENTATION CONTROL
 GR = GRADE
 GV = GATE VALVE
 H = HORIZONTAL
 HDPE = HIGH DENSITY POLYETHYLENE PIPE
 HOP = HIGHWAY OCCUPANCY PERMIT
 ID = INSIDE DIAMETER

INV = INVERT
 IE = INVERT ELEVATION
 MATL = MATERIAL
 MAX = MAXIMUM
 MIN = MINIMUM
 MJ = MECHANICAL JOINT
 NMAS = NOMINAL MAXIMUM AGGREGATE SIZE
 OAE = OR APPROVED EQUAL
 OD= OUTSIDE DIAMETER
 OSHA = OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION
 PVC = POLYVINYL CHLORIDE PIPE
 RED = REDUCER
 R/W = RIGHT-OF-WAY
 ROW = RIGHT-OF-WAY
 SBA = SHIPPENSBURG BOROUGH AUTHORITY
 STA = STATION
 STD = STANDARD
 TYP = TYPICAL
 UE = UTILITY EASEMENT
 V = VERTICAL
 W = WATER LINE
 WV = WATER VALVE

NO.	DATE	REVISION
1	04/01/2026	ISSUED FOR PERMIT APPLICATION

FOR RETTEW ASSOCIATES BY:

MANAGER: ABRAMAM KING
 DESIGN BY: CHKO BY: ADF AJK
 DRAWN BY: CHKO BY: ADF
 SURV. CHIEF: FELDBOOK NO. N/A

CLIENT: ELIZABETHTOWN REGIONAL SEWER AUTHORITY
 235 ERS A DRIVE
 ELIZABETHTOWN, PA. 17034
 CONTACT: STEVEN RETTEW

NTS

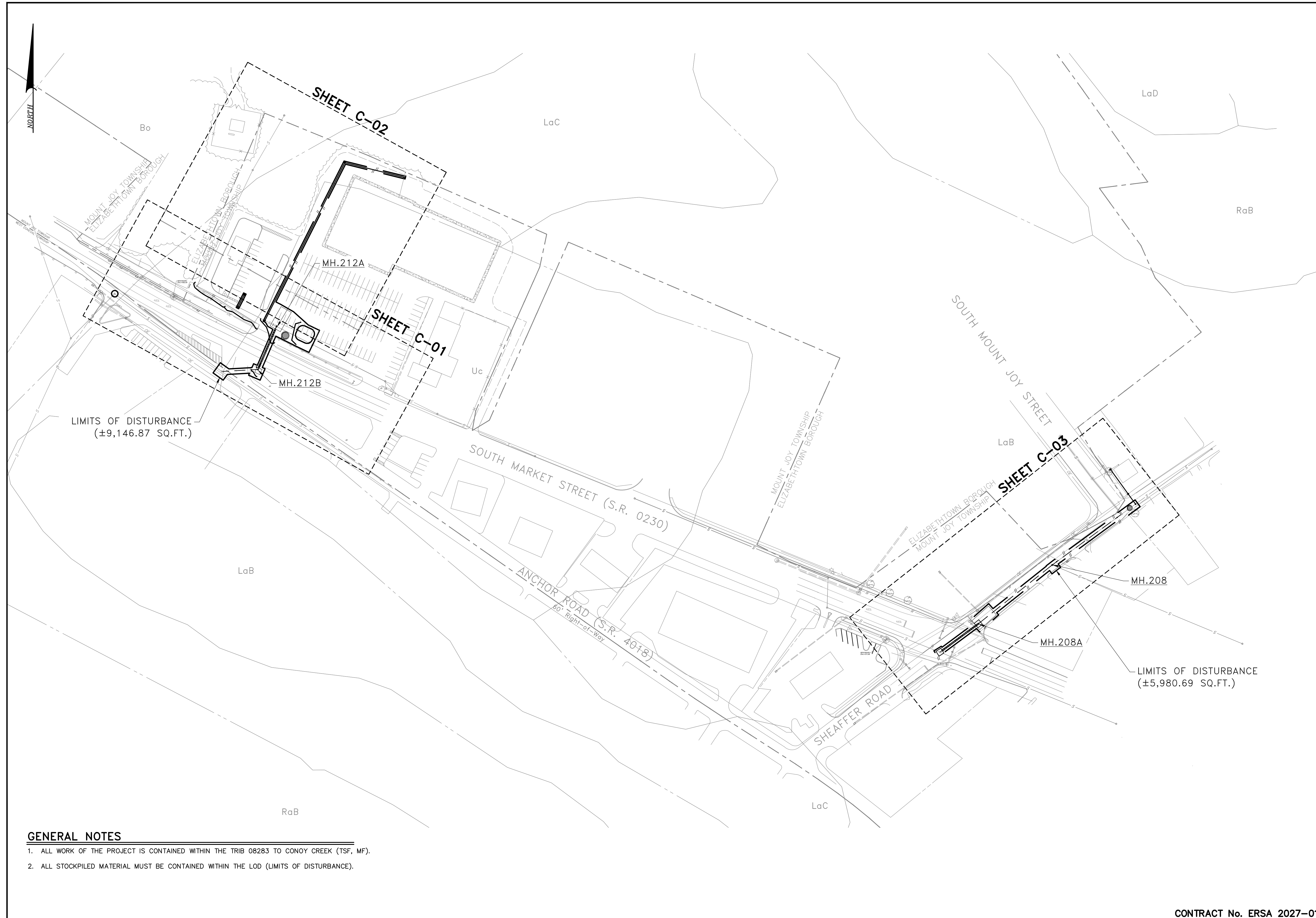
RETTAW Associates, Inc.
 3020 Columbia Avenue, Lancaster, PA 17603
 Phone (800) 738-8395
 Email: rettew@rettew.com
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Engineers • Planners • Surveyors • Landscape Architects
 Environmental Consultants

SHEAFFER RD. & MARKET ST.
 GRAVITY SEWER RELOCATION
 FOR
ELIZABETHTOWN REGIONAL SEWER AUTHORITY
 NOTES AND LEGENDS

MOUNT JOY TOWNSHIP
 LANCASTER COUNTY, PA

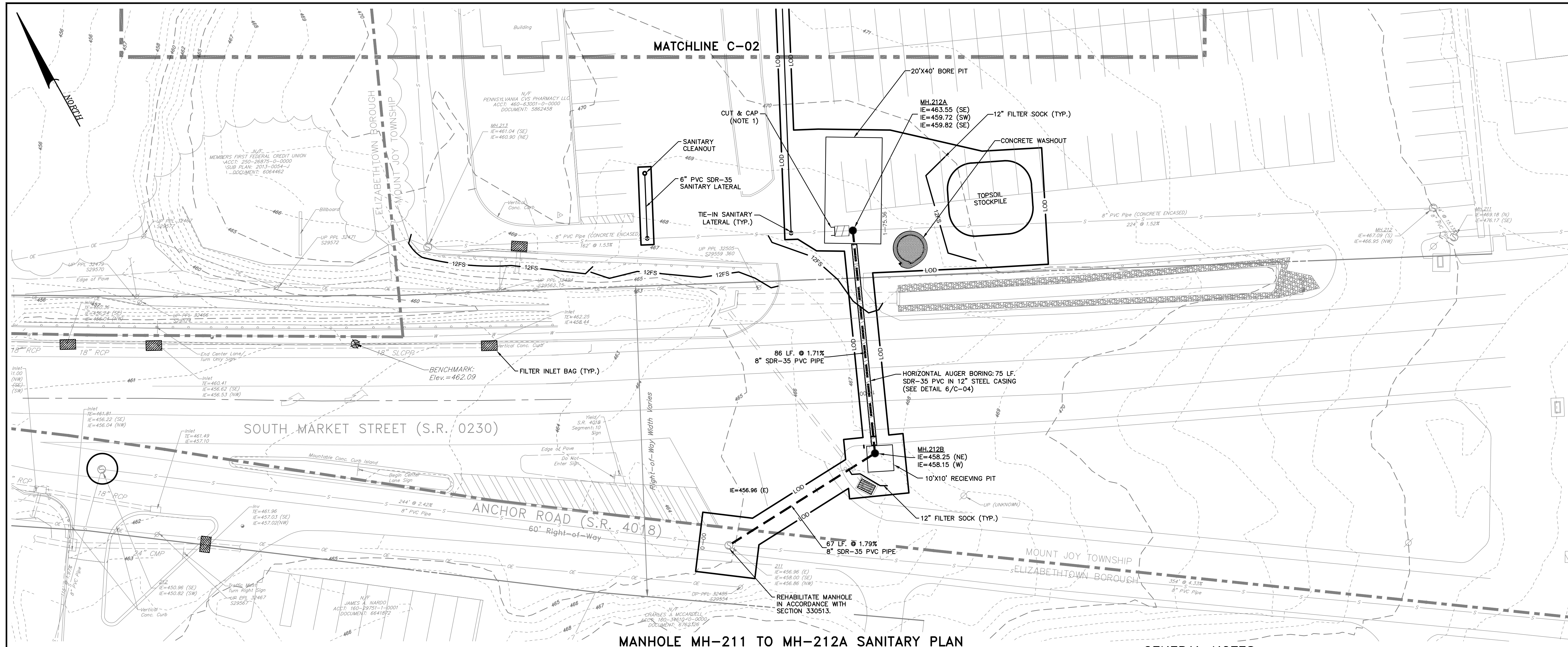
PROJ. NO.	0090305320
DWG. NO.	G-02



GENERAL NOTES

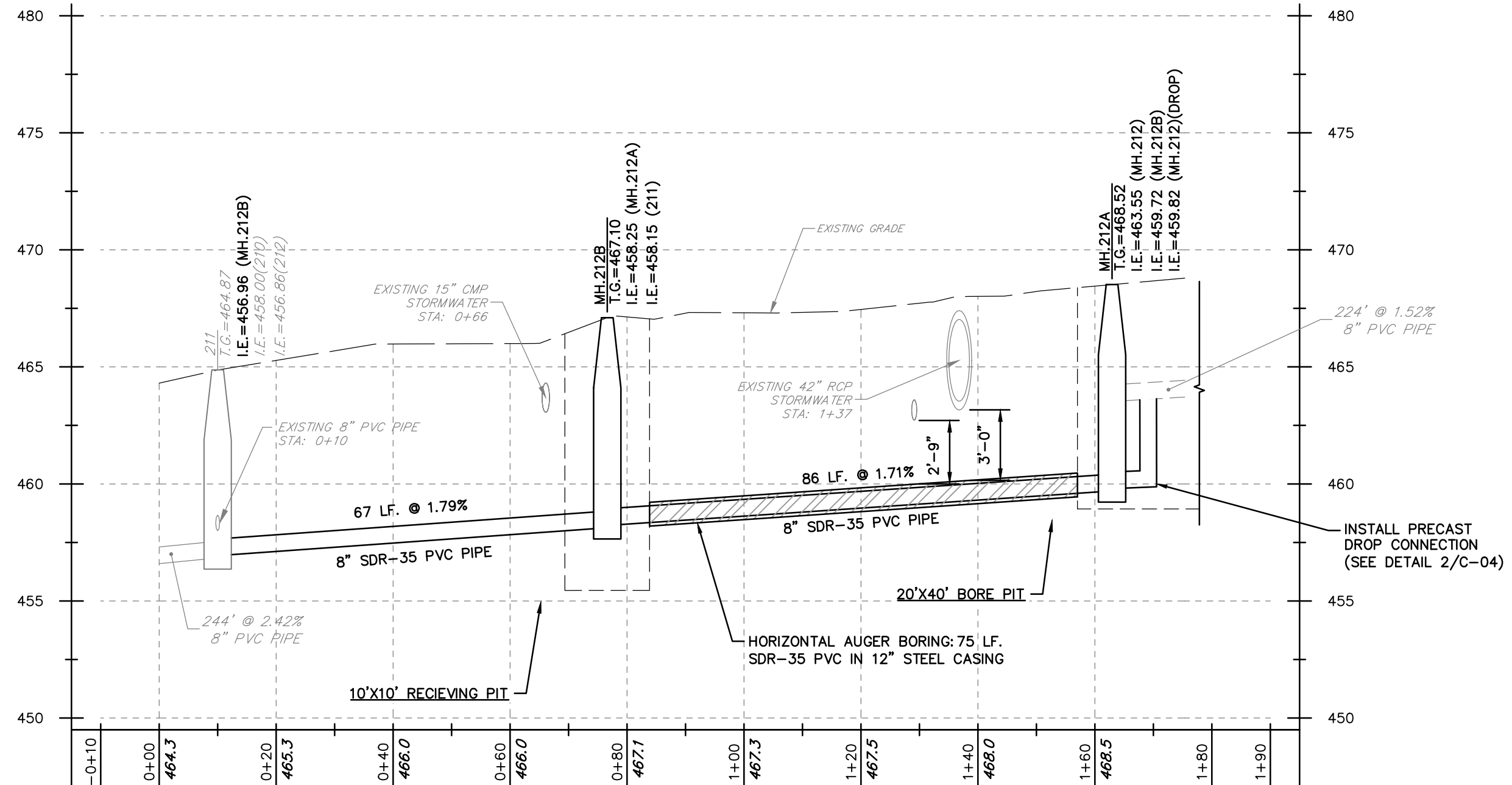
1. ALL WORK OF THE PROJECT IS CONTAINED WITHIN THE TRIB 08283 TO CONOY CREEK (TSF, MF).
2. ALL STOCKPILED MATERIAL MUST BE CONTAINED WITHIN THE LOD (LIMITS OF DISTURBANCE).

<p>FOR RETTEW ASSOCIATES BY:</p>		<p>NO. DATE</p> <p>A 04/07/2026 ISSUED FOR PERMIT APPLICATION REVISION</p>
<p>MANAGER: ABRAMAM KING</p> <p>DESIGN BY: ADF</p> <p>DRAWN BY: JUNW</p> <p>SURV. CHIEF: N/A</p>	<p>CHKD BY: AJK</p> <p>CHKD BY: ADF</p> <p>ADJ: N/A</p> <p>FELDBOOK NO.: N/A</p>	<p>CLIENT:</p> <p>ELIZABETHTOWN REGIONAL SEWER AUTHORITY</p> <p>235 Ersa Drive Elizabethtown, PA 17034 CONTACT: STEVEN RETTEW</p> <p>SCALE: 1"=80'</p>
<p>RETTEW</p> <p>RETTEW Associates, Inc. 3020 Columbia Avenue, Lancaster, PA 17603 Phone (800) 738-8395 Email: rettew@rettew.com Website: www.rettew.com</p> <p>Engineers • Planners • Surveyors • Landscape Architects Environmental Consultants</p>		<p>PROJ. NO. 0090305320</p> <p>DWG. NO. G-03</p>
<p>SHEAFFER RD. & MARKET ST. GRAVITY SEWER RELOCATION FOR ELIZABETHTOWN REGIONAL SEWER AUTHORITY SHEET INDEX PLAN</p>		<p>MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA</p>



GENERAL NOTES

1. BASED ON AS-BUILT DRAWINGS OF THE SYSTEM, THE 8" PVC SEWER LINE BETWEEN MH-212 AND MH-213 IS CONCRETE ENCASED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE THE EXISTING CONCRETE ENCASEMENT, WHERE NECESSARY TO MAKE CONNECTIONS FOR THE PROPOSED RE-ALIGNMENT.



FOR RETTEW ASSOCIATES BY:		NO.		DATE	
MANAGER: ABRAMAM KING		CHKD BY: AJK	NO.		DATE
DESIGN BY: ADF	CHKD BY: ADF	NO.	DATE		REVISION
DRAWN BY: JMW	CHKD BY: ADF	NO.	DATE		REVISION
SURV. CHIEF: N/A	FIELDBOOK NO.: N/A	NO.	DATE		REVISION
<p>CLIENT: ELIZABETHTOWN REGIONAL SEWER AUTHORITY</p> <p>235 ERS A DRIVE ELIZABETHTOWN, PA. 17034 CONTACT: STEVEN RETTEW</p>					
<p>PROJ. NO. 0090305320</p> <p>DWG. NO. C-01</p>					
<p>CONTRACT No. ERS A 2027-01</p>					

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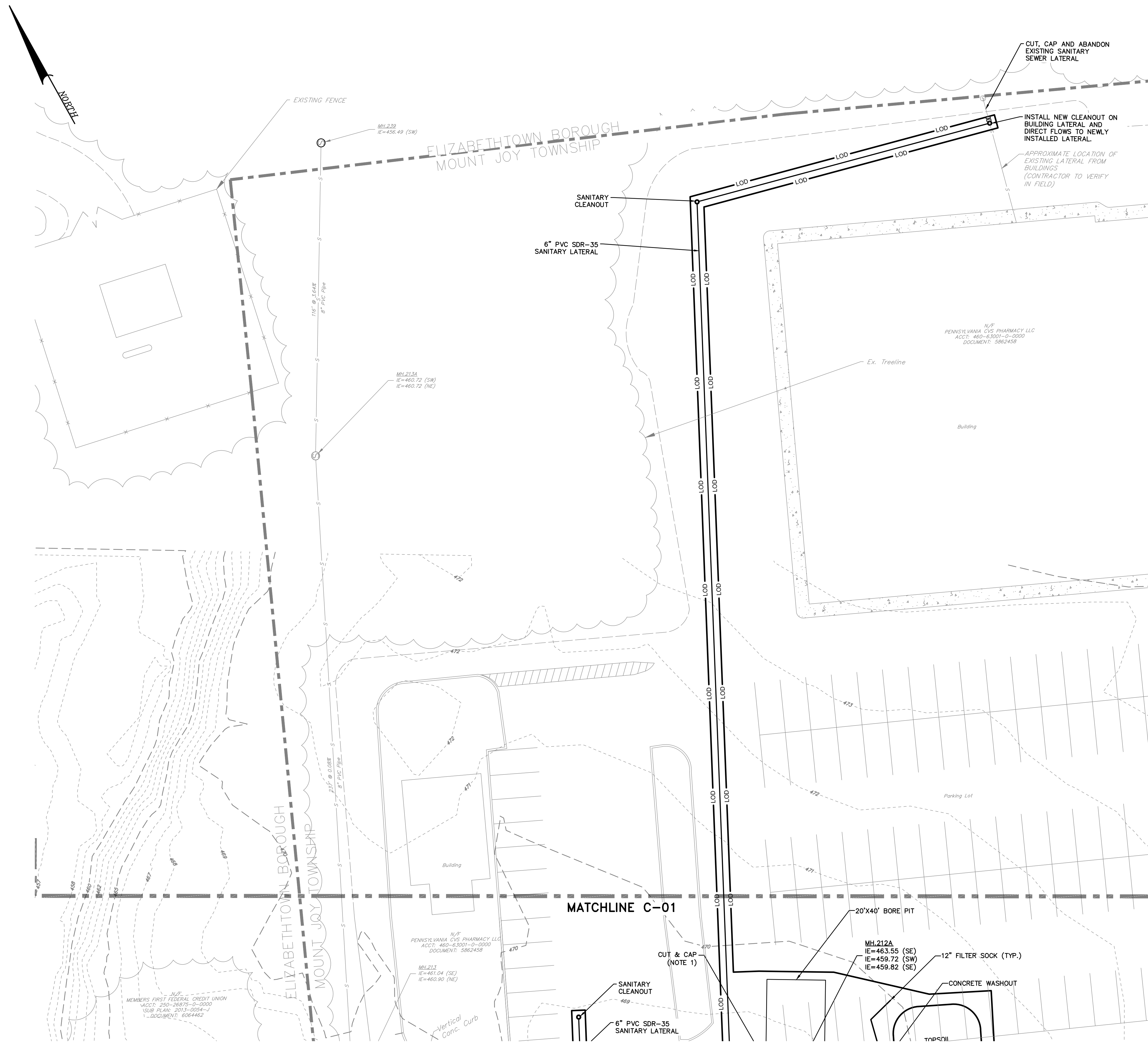
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SHEAFFER RD. & MARKET ST.
GRAVITY SEWER RELOCATION

ELIZABETHTOWN REGIONAL SEWER AUTHORITY

PROPOSED SANITARY PLAN AND PROFILE I

MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PA

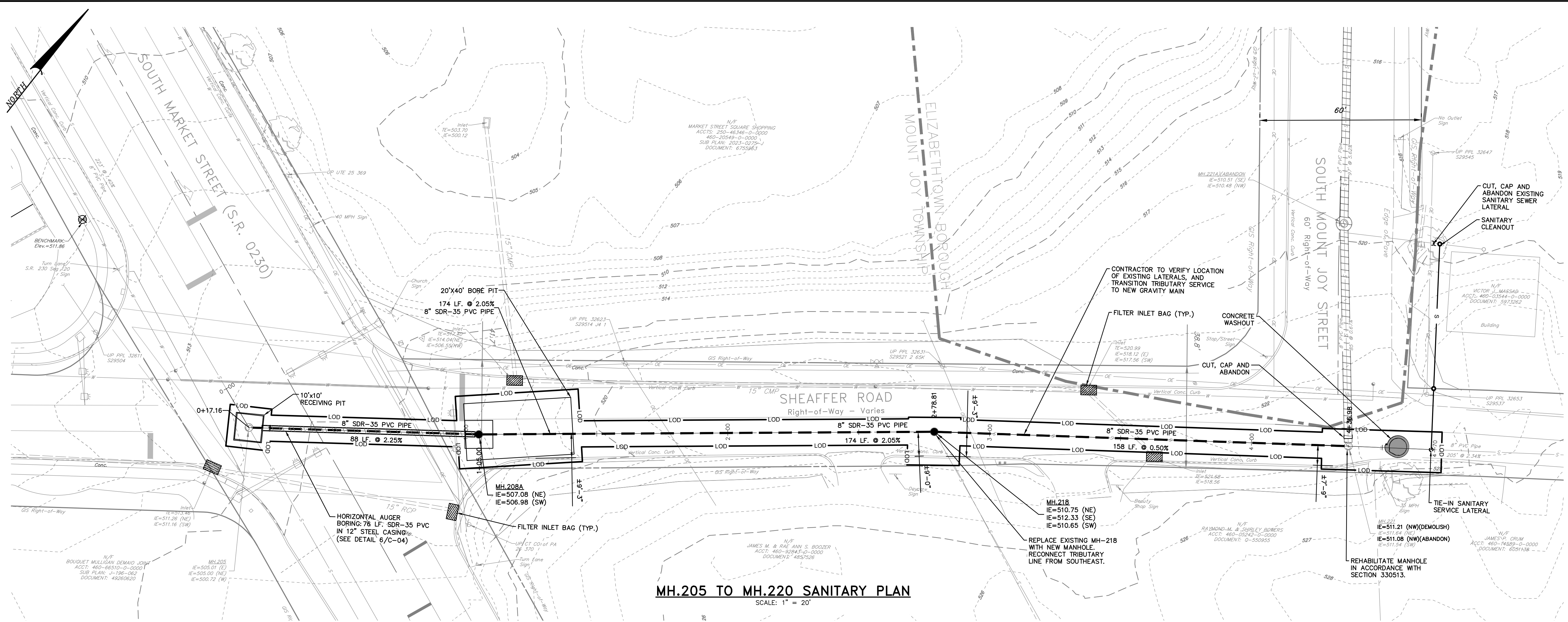


SANITARY PLAN NORTH OF MH.209 TO MH.208
SCALE: 1" = 20'

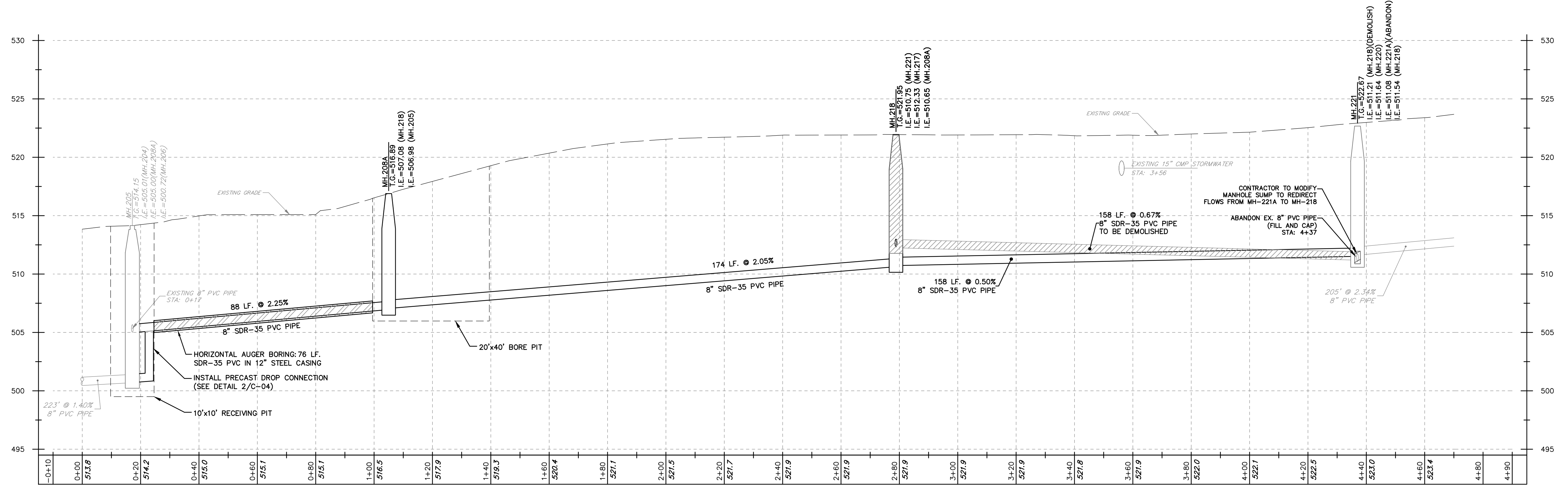
FOR RETTEW ASSOCIATES BY:			
MANAGER:	ABRAHAM KING	CHKD BY:	AJK
DESIGN BY:	ADF	CHKD BY:	ADF
DRAWN BY:	JUNW	SURV. CHIEF:	N/A
		FIELDBOOK NO.:	N/A
CLIENT:	ELIZABETHTOWN REGIONAL SEWER AUTHORITY 235 ERS A DRIVE ELIZABETHTOWN, PA. 17034 CONTACT: STEVEN RETTEW		
PROJECT:	SHEAFFER RD. & MARKET ST. GRAVITY SEWER RELOCATION ELIZABETHTOWN REGIONAL SEWER AUTHORITY PROPOSED SANITARY PLAN I		
PROJ. NO.:	0090305320		
DWG. NO.:	C-02		
DATE:	04/07/2026	ISSUED FOR PERMIT APPLICATION	REVISION
NO.:	A	NO.	

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MOUNT JOY TOWNSHIP
 LANCASTER COUNTY, PA



MH.205 TO MH.220 SANITARY PLAN
SCALE: 1" = 20'



PROFILE OF MH.205 TO MH.221
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 5'

FOR RETIEW ASSOCIATES BY:		NO.		DATE	
MANAGER: ABRAMAM KING		CHKD BY: AJK	NO.		DATE
DESIGN BY: ADF	CHKD BY: ADF	NO.		DATE	
DRAWN BY: JUNW	CHKD BY: ADF	NO.		DATE	
SURV. CHIEF: N/A	RELEASER: N/A	NO.		DATE	
<p>ELIZABETHTOWN REGIONAL SEWER AUTHORITY</p> <p>235 ERS A DRIVE ELIZABETHTOWN, PA. 17034 CONTACT: STEVEN RETIEW</p>					
<p>RETIEW</p> <p>RETIEW Associates, Inc. 3020 Columbia Avenue, Lancaster, PA 17603 Phone (800) 738-8395 Email: retiew@retiew.com Website: www.retiew.com</p> <p>Engineers • Planners • Surveyors • Landscape Architects Environmental Consultants</p>					
<p>SHEAFFER RD. & MARKET ST. GRAVITY SEWER RELOCATION</p> <p>ELIZABETHTOWN REGIONAL SEWER AUTHORITY</p> <p>PROPOSED SANITARY PLAN AND PROFILE II</p> <p>MOUNT JOY TOWNSHIP LANCASTER COUNTY, PA</p>					
<p>PROJ. NO. 0090305320</p> <p>DWG. NO. C-03</p>					
<p>CONTRACT No. ERS A 2027-01</p>					

GENERAL SEDIMENT AND EROSION CONTROL METHODS/PROCEDURES

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE E&S PLAN.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RETENNING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER ACCEPTABLE TO THE PA DEP AND LOCAL CONSERVATION DISTRICT.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES – 6 TO 12 INCHES ON COMPACTED SOILS – PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 12 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS, DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND MAKE SURE THE SITE(S) RECEIVING THE EXCESS HAS AN APPROVED AND FULLY IMPLEMENTED E&S CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE/FEDERAL REGULATIONS.
- THE OWNER AND THE SITE ENGINEER SHALL BE NOTIFIED IN THE EVENT SINKHOLES OR OTHER UNSUITABLE SUB-SURFACE CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION. IN ADDITION, THE SERVICES OF A REGISTERED GEOLOGIST SHOULD BE OBTAINED TO ASSIST IN RECOMMENDING CONSTRUCTION TECHNIQUES AND PERMANENT FACILITIES NECESSARY TO AVOID FURTHER SINKHOLE CREATION, REPAIR ANY EXISTING SINKHOLES, AND MAKE RECOMMENDATION ON ANY ENCOUNTERED UNSUITABLE SUB-SURFACE CONDITIONS.

SCHEDULE OF MAINTENANCE OF EROSION & SEDIMENT CONTROLS

THE SOIL EROSION AND SEDIMENT CONTROLS UTILIZED IN THE DEVELOPMENT OF THIS PLAN SHALL BE MAINTAINED AND REPAIRED IN ORDER TO KEEP THEM IN EFFECTIVE CONDITION UNTIL PERMANENT STABILIZATION OCCURS. THE CONTRACTOR SHALL INSPECT AND PERFORM NEEDED MAINTENANCE AT A MINIMUM ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS AFTER ANY STORM EVENT GREATER THAN 0.5" OF RAIN PER 24 HOUR PERIOD. IN ORDER TO ASSURE PROPER FUNCTION, MAINTENANCE OF THE CONTROLS SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING MAINTENANCE PROCEDURES FOR UTILIZED CONTROLS:

INSPECTIONS MUST BE BY A QUALIFIED PERSON TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AND DOCUMENTED IN AN INSPECTION LOG DEP FORM 3150-PM-BWEW0083 DATED 2/2012, TO BE MAINTAINED ON SITE AT ALL TIMES.

ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, RE-SEEDING, RE-MULCHING, AND RE-NETTING, MUST BE PERFORMED IMMEDIATELY.

MISCELLANEOUS ADJUSTMENTS AND CORRECTIONS SHALL BE MADE TO ANY EROSION CONTROL STRUCTURE AS DEEMED NECESSARY BY THE ENVIRONMENTAL INSPECTOR. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.

FILTER SOCK

- REPAIR OR REPLACE SPLIT, TORN, RAVELING, OR SLUMPING FILTER SOCKS.
- REMOVE SEDIMENT ACCUMULATIONS WHEN EXCEEDING ½ THE HEIGHT BETWEEN THE TOP OF THE FILTER SOCK AND THE GROUND SURFACE.
- REPAIR ANY RILLS OR GULLIES PROMPTLY.
- RESEED OR REPLANT VEGETATION IF NECESSARY UNTIL THE SLOPE IS STABILIZED.

TOPSOILING

- AFTER TOPSOIL APPLICATION, FOLLOW PROCEDURES FOR SEEDBED PREPARATION.
- TAKE CARE TO AVOID EXCESSIVE MIXING OF TOPSOIL INTO THE SUBSOIL.
- PERMANENTLY STABILIZE THE SITE FOLLOWING APPROPRIATE PRACTICE STANDARDS AS QUICKLY AS PRACTICABLE.
- PERIODICALLY INSPECT THE SITE UNTIL PERMANENT STABILIZATION IS ACHIEVED.
- MAKE NECESSARY REPAIRS TO ERODED AREAS OR AREAS OF LIGHT VEGETATIVE COVER.

TEMPORARY SEEDING

- AREAS THAT FAIL TO ESTABLISH A VEGETATIVE COVER ADEQUATE TO PREVENT RILL EROSION SHOULD BE RE-SEEDED AS SOON AS SUCH AREAS ARE IDENTIFIED.

PERMANENT SEEDING

- EVEN WITH CAREFUL, WELL-PLANNED SEEDING OPERATIONS, FAILURES OCCUR. WHEN IT IS CLEAR THAT PLANTS HAVE NOT GERMINATED ON AN AREA OR HAVE DIED, THESE AREAS MUST BE PREPARED AND RESEDED IMMEDIATELY TO PREVENT EROSION DAMAGE. IT IS EXTREMELY IMPORTANT TO DETERMINE WHY GERMINATION DID NOT TAKE PLACE AND MAKE ANY NECESSARY CORRECTIVE ACTIONS. HEALTHY VEGETATION IS THE MOST EFFECTIVE EROSION CONTROL AVAILABLE. SOME HIGHLY ACIDIC SOILS (ESPECIALLY AROUND VARIOUS COAL SEAMS IN THE COALFIELDS) WILL RESIST THE BEST EFFORTS TO REVEGETATE THEM. IN THESE CASES, TOPSOILING WILL BE THE ONLY WAY TO ESTABLISH VEGETATION.

MULCHING

- ALL MULCHES AND SOIL COVERINGS SHOULD BE INSPECTED PERIODICALLY (PARTICULARLY AFTER RAINSTORMS AND HIGH WINDS) TO CHECK FOR EROSION AND DISPLACEMENT. WHERE EROSION IS OBSERVED IN MULCHED AREAS, ADDITIONAL MULCH SHOULD BE APPLIED AND EROSION REPAIRED IF NECESSARY.
- NETS AND MATS SHOULD BE INSPECTED AFTER RAINSTORMS FOR DISLOCATION OR FAILURE. IF WASHOUTS OR BREAKAGE OCCUR, REINSTALL NETTING OR MATTING AS NECESSARY AFTER REGRADING TO REPAIR DAMAGE TO THE SLOPE OR DITCH. INSPECTIONS SHOULD TAKE PLACE UP UNTIL GRASSES ARE FIRMLY ESTABLISHED OR THE AREA IS REDISTURBED.

ROLLED EROSION CONTROL PRODUCTS (IF REQUIRED)

- BASIC MONITORING SHOULD CONSIST OF VISUAL INSPECTIONS TO DETERMINE MAT INTEGRITY AND ATTACHMENT PERFORMANCE. RILL DEVELOPMENT BENEATH THE MAT OR EDGE LIFTING IS EVIDENCE OF INADEQUATE ATTACHMENT. UNTIL THE VEGETATION IS FULLY ESTABLISHED, THE GROUND SURFACE SHOULD BE INSPECTED FOR SIGNS OF RILL OR GULLY EROSION BELOW THE MATTING.
- ANY SIGNS OF EROSION, TEARING OF THE MATTING, OR AREAS WHERE THE MATTING IS NO LONGER ANCHORED FIRMLY TO THE GROUND SHOULD BE REPAIRED. REPAIR ANY DAMAGED AREAS IMMEDIATELY BY RESTORING SOIL TO FINISHED GRADE, RE-APPLYING SOIL AMENDMENTS AND SEED, AND REPLACING THE R.E.C.P.S. ADDITIONAL STAKING AND TRENCHING CAN BE EMPLOYED TO CORRECT DEFECTS. RECENTLY PLACED MATS MAY BE REPLACED, BUT ONCE VEGETATION BECOMES ESTABLISHED, REPLACEMENT IS NOT A REASONABLE OPTION UNLESS LARGE FAILURES HAVE OCCURRED. IF THE R.E.C.P.S ARE VEGETATED, THE VEGETATION SHOULD BE WATERED AS NEEDED. GETTING GRASS ESTABLISHED AS QUICKLY AS POSSIBLE IS VERY IMPORTANT.

DEWATERING BAG (IF REQUIRED)

- THE FILTERING DEVICES MUST BE INSPECTED FREQUENTLY DURING PUMPING OPERATIONS AND REPAIRED OR REPLACED ONCE THE SEDIMENT BUILD-UP PREVENTS THE STRUCTURE FROM FUNCTIONING AS DESIGNED.
- THE ACCUMULATED SEDIMENT THAT IS REMOVED FROM A DEWATERING DEVICE MUST BE SPREAD ON-SITE AND STABILIZED OR DISPOSED OF AT AN APPROVED DISPOSAL SITE AS PER APPROVED PLAN.

COMPOST SOCK AND CONCRETE WASHOUT (IF REQUIRED)

SEE STANDARD DETAIL FIGURE 3.1 FOR INSTALLATION MAINTENANCE REQUIREMENTS.

CONSTRUCTION SEQUENCE

- THIS SEQUENCE IS INTENDED AS A GUIDELINE IN ORDER TO MINIMIZE EROSION DURING THE CONSTRUCTION PROCESS.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PUBLIC ROAD OR SIDEWALK FREE OF ALL MUD FROM CONSTRUCTION AND DELIVERY VEHICLES. AFTER EACH VEHICLE LEAVES THE SITE, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS MUST BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORKDAY. THE CONTRACTOR IS TO TAKE GREAT CARE TO PREVENT SEDIMENT TRACKING. STABILIZED ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED WHEREVER IT IS KNOWN THAT CONSTRUCTION VEHICLES WILL BE EXITING ONTO A ROADWAY (PUBLIC OR PRIVATE). THE CONTRACTOR SHALL CONSTRUCT A STABILIZED ROCK CONSTRUCTION ENTRANCE WHEREVER NEEDED, EVEN IF NOT SPECIFICALLY IDENTIFIED ON THE PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- FIELD MARK LIMIT OF DISTURBANCE AND ENVIRONMENTALLY SENSITIVE AREAS AS SHOWN ON THE PLAN. ORANGE CONSTRUCTION FENCE OR WOODEN STAKES WITH FLAG TAPE ARE ADEQUATE FOR FIELD MARKING. AT NO TIME SHALL CONSTRUCTION EQUIPMENT BE ALLOWED TO ENTER AREAS OUTSIDE THESE BOUNDARIES.
- INSTALL CONCRETE WASHOUT FACILITY AS SHOWN ON THE PLANS.
- INSTALL FILTER SOCK AS SHOWN ON THE PLANS.
- INSTALL SANITARY SEWER AND MANHOLES. COMPLETE MANHOLE MODIFICATIONS AND REHABILITATION, AND CUT/CAP OF EXISTING SANITARY SEWER LINES AS IDENTIFIED IN THE PLAN DRAWINGS. SOIL STOCKPILED THROUGHOUT CONSTRUCTION SHALL BE CONTAINED WITHIN THE LOD (LIMITS OF DISTURBANCE). FILTER SOCK SHALL BE USED DOWNSTREAM OF THE STOCKPILE AS NECESSARY TO PREVENT SEDIMENT EROSION FROM LEAVING THE SITE.
- PERFORM FINAL GRADING, PAVING, ETC.
- AS SOON AS AREAS OF THE SITE ARE AT FINISHED GRADE, APPLY TOPSOIL WITH PERMANENT SEEDING TO ALL AREAS DESIGNATED TO REMAIN AS LANDSCAPE OR GRASS. IF NEEDED, IMPORT TOPSOIL AND APPLY THE MINIMUM REQUIRED DEPTH TO ESTABLISH PERMANENT VEGETATION. SEED, FERTILIZE, AND MULCH EXPOSED OR DISTURBED AREAS. COMPLETE MUNICIPAL PAVEMENT RESTORATION AS SPECIFIED IN THE PLAN DETAILS. COMPLETE STATE HIGHWAY RESTORATION IN ACCORDANCE WITH THE APPROVED HOP PLANS.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED AND APPROVED, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES FROM THE SITE. ALL AREAS DISTURBED DURING THE REMOVAL OR CONVERSION OF EROSION AND SEDIMENT CONTROL MEASURES MUST BE STABILIZED IMMEDIATELY.

LIMITATION OF SOILS

THE SOIL SURVEY OF LANCASTER COUNTY INDICATES THAT THE SOILS WITHIN THE PROJECT AREA ARE COMPRISED OF THE FOLLOWING:
 LoB – LANSDALE LOAM, 3 TO 8% SLOPES
 LoC – LANSDALE LOAM, 8 TO 15% SLOPES
 Uc – URBAN LAND

THE FOLLOWING ADDRESSES POTENTIAL SOILS USE LIMITATIONS AND PROPOSED RESOLUTIONS:

- CUTBANKS CAVE
 1.A. LIMITED SOILS: LANSDALE
- RESOLUTIONS: THE SITE IMPROVEMENTS WILL REQUIRE SHALLOW BULK EXCAVATION. ADEQUATE SHORING IS TO BE USED FOR TRENCH WORK.
- CORROSIVE TO CONCRETE
 2.A. LIMITED SOILS: LANSDALE (C)
 2.B. RESOLUTIONS: CONCRETE STRUCTURES SHOULD RECEIVE A PROTECTIVE COATING PRIOR TO BACKFILL.
- DROUGHTY
 3.A. LIMITED SOILS: LANSDALE
 3.B. RESOLUTIONS: SELECT WATER DROUGHT TOLERANT SPECIES. WATERING OF SEED MAY BE REQUIRED.
- DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE
 4.A. LIMITED SOILS: URBAN LAND
 4.B. RESOLUTIONS: A PUMPED WATER FILTER BAG DETAIL HAS BEEN INCLUDED ON THE PLAN. ANY WATER ENCOUNTERED DURING EXCAVATION ACTIVITIES SHOULD BE DISCHARGED THROUGH THIS FILTER BAG AS AN EROSION AND SEDIMENT CONTROL MEASURE.
- LOW STRENGTH/LANDSIDE PRONE
 5.A. LIMITED SOILS: LANSDALE
 5.B. RESOLUTIONS: SOIL AMENDMENTS AND PROPER COMPACTION TECHNIQUES MAY BE NECESSARY DURING CONSTRUCTION. DO NOT COMPACT SOILS WHEN SATURATED.
- SLOW PERCOLATION
 6.A. LIMITED SOILS: LANSDALE
 6.B. RESOLUTIONS: SOIL COMPACTION SHOULD BE LIMITED AS MUCH AS POSSIBLE IN THE TOP 12-INCHES OF PROPOSED GRADE OVER THE UTILITY LINE IN PVIOUS AREAS.
- POOR SOURCE OF TOPSOIL
 7.A. LIMITED SOILS: LANSDALE
 7.B. RESOLUTIONS: PRESENCE OF GRAVEL OR ROCK FRAGMENTS IN THE TOPSOIL MAY MAKE VEGETATION ESTABLISHMENT DIFFICULT. PROPER PREPARATION (RAKING, LIME, AND FERTILIZER APPLICATION, ETC.) OF THE TOPSOIL WILL AID IN VEGETATION ESTABLISHMENT.
- FROST ACTION
 8.A. LIMITED SOILS: LANSDALE AND URBAN LAND
 8.B. RESOLUTIONS: FROZEN FILL MATERIAL MUST NOT BE USED IN CONSTRUCTION. PLACE ASIDE AND ALLOW TO THAW AND DRY OUT PRIOR TO USE. DO NOT PLACE FILL ON FROZEN GROUND. ONLY EXCAVATE DURING FREEZING TEMPERATURES WHEN FILL CAN BE IMMEDIATELY PLACED AND COMPACTED.

SEEDING SPECIFICATIONS

TEMPORARY COVER – PENNDOT FORMULA E (OR EQUAL)

SPECIES ANNUAL RYE GRASS (98% PURE LIVE SEED)
 APPLICATION RATE 10 LBS PER 1000 SQUARE YARDS
 APPLICATION DATE MARCH 15 TO OCTOBER 15

PERMANENT COVER – PENNDOT FORMULA B (OR EQUAL)

SPECIES PERENNIAL GRASS MIXTURE (20% BY WEIGHT, 98% PURE LIVE SEED)
 CREEPING RED FESCUE (50% BY WEIGHT, 98% PURE LIVE SEED)
 KENTUCKY BLUE GRASS MIXTURE (50% BY WEIGHT, PURE LIVE)
 APPLICATION RATE 21 LBS PER 1000 SQUARE YARD
 APPLICATION DATE MARCH 15 TO JUNE 1
 AUGUST 1 TO OCTOBER 15

*VEGETATIVE STABILIZATION WILL BE PERIODICALLY INSPECTED FOR PROPER GROWTH. ANY AREAS NOT RESPONDING WILL BE PROMPTLY RESEEDED. AREAS, WHICH SHOW SIGNS OF EROSION, PRIOR TO STABILIZATION, SHALL BE GRADED, RESEEDED, AND RE-MULCHED AS SOON AS POSSIBLE.

MULCHING SPECIFICATIONS

- HAY OR STRAW – AIR-DRIED, FREE OF SEED AND COARSE MATERIAL. INSTALLATION RATE FOR PERMANENT AND TEMPORARY STABILIZATION IS THREE (3) TONS PER ACRE.
- THE MULCHING WILL BE UTILIZED DURING WINTER MONTHS AS A GOOD GROUND COVER ON TOPSOIL STOCKPILES, GRADED SLOPES AND OTHER AREAS TO BE GRASSED.
- THE DISTURBED AREAS WILL BE SEEDD WITHIN THE FIRST WEEK OF THE DESIGNATED GROWING SEASON, OR BEFORE, IF THE WEATHER IS FAVORABLE.
- STRAW MULCH SHALL BE APPLIED AT THE RATE OF 3.0 TONS PER ACRE, ON STEEP SLOPES OF 3:1 OR GREATER, MULCH SHALL BE ANCHORED THROUGH THE USE OF JUTE NETTING, EROSION CONTROL BLANKETS, OR MIXING WITH ASPHALT AT THE RATE OF 100 GALLONS PER 3 TONS OF STRAW MULCH.
- STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.

SOIL SUPPLEMENT SPECIFICATIONS

ALL TOPSOIL SHALL BE LOOSENEED TO A DEPTH OF AT LEAST 4". ALL OBJECTIONABLE MATERIAL LARGER THAN 2" SHALL BE REMOVED.

DUE TO THE NATURE OF THE SOILS AT THE SITE IT MAY BE NECESSARY TO IMPORT TOPSOIL WITH SUFFICIENT ORGANIC MATERIAL AND WATER CAPACITY TO SUSTAIN THE SPECIFIED SEED MIXTURE.

LIMESTONE AND FERTILIZER SHALL BE APPLIED UNIFORMLY TO AREAS TO BE SEEDD, AND WORKED INTO THE SOIL TO A DEPTH OF 6".

SUPPLEMENTS SHALL CONFORM TO THE REQUIREMENTS OF PENNDOT PUBLICATION 408, SECTION 804. ONSITE SOIL TESTING IS HIGHLY RECOMMENDED.

TEMPORARY

LIMING – PULVERIZED AGRICULTURAL LIMESTONE --- APPLIED AT 800 LBS/ 1000 SY
 FERTILIZER – 10-20-10 ANALYSIS COMMERCIAL FERTILIZER – APPLIED AT 140 LBS PER 1000 SY

PERMANENT

LIMING – PULVERIZED AGRICULTURAL LIMESTONE --- APPLIED AT 800 LBS/ 1000 SY
 FERTILIZER – 10-20-10 ANALYSIS COMMERCIAL FERTILIZER – APPLIED AT 140 LBS PER 1000 SY
 38-0-0 UREAFORM FERTILIZER – APPLIED AT 50 LBS/1000 SY
 OR 32-0-0 TO 38-0-0 SULFUR COATED UREA FERTILIZER – APPLIED AT 59 LBS/1000 SY TO 50 LBS/1000 SY
 OR 31-0-0 IBDU FERTILIZER – 61 LBS/1000 SY

NO.	DATE	REVISION
A	04/07/2026	ISSUED FOR PERMIT APPLICATION

FOR REVIEW ASSOCIATES BY:	REGISTERED PROFESSIONAL ENGINEER
MANAGER:	ABRAHAM KING
DESIGN BY:	ADP
DRAWN BY:	JUNW
SURV. CHIEF:	N/A
REGISTERED PROFESSIONAL ENGINEER:	ANDREW D FERKO IV

CLIENT:	ELIZABETHTOWN REGIONAL SEWER AUTHORITY
235 ERS A DRIVE	ELIZABETHTOWN, PA. 17034
CONTACT:	STEVEN RETTEW

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 Engineers • Planners • Surveyors • Landscape Architects
 Environmental Consultants

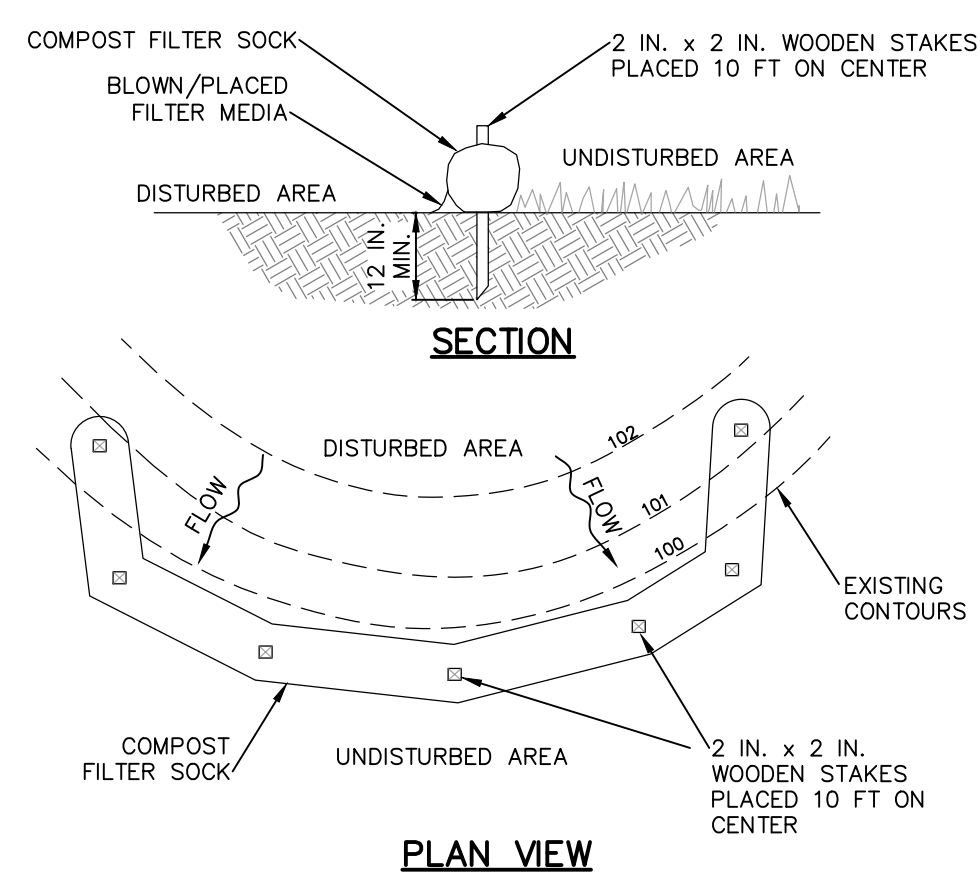
SHEAFFER RD. & MARKET ST.
 GRAVITY SEWER RELOCATION
ELIZABETHTOWN REGIONAL SEWER AUTHORITY
 EROSION & SEDIMENTATION CONTROL NOTES
 MOUNT JOY TOWNSHIP
 LANCASTER COUNTY, PA

PROJ. NO.	0090305320
DWG. NO.	EC-01

NOTE: MINIMUM SPECIFICATIONS FOR FILTER SOCK FABRIC SHALL MEET THE FOLLOWING PER TABLE 4.1:
 MATERIAL TYPE: 5 MIL HDPE
 MATERIAL CHARACTERISTICS: PHOTO-DEGRADABLE
 MESH OPENING: 3/8"
 TENSILE STRENGTH: 26 PSI
 MINIMUM FUNCTIONAL LONGEVITY: 9 MONTHS

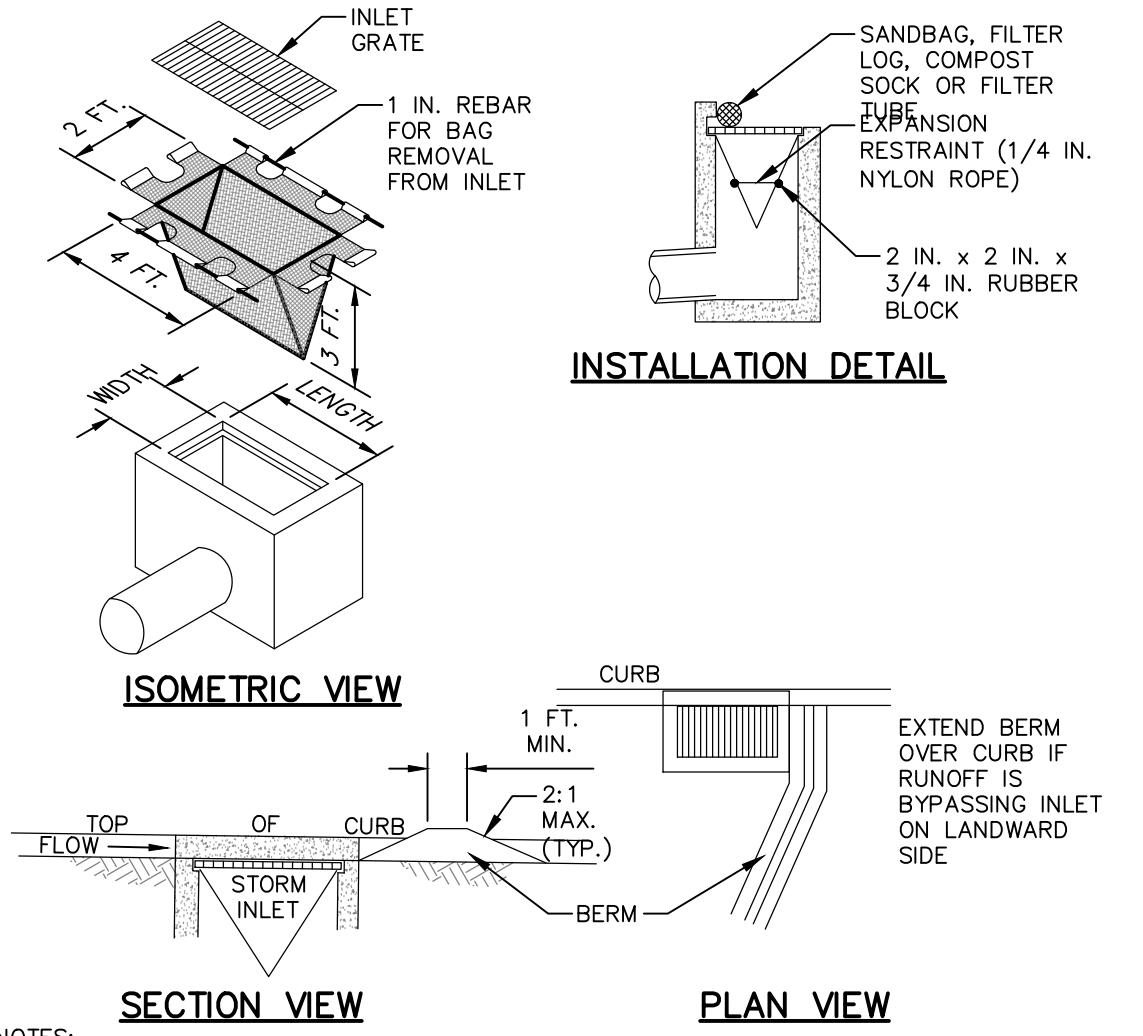
TABLE 4.1 - COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS					
MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPP)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12", 18"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"	12", 18", 24", 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.		100% AT 1000 HR.	100% AT 1000 HR.
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS
TWO-PLY SYSTEMS					
INNER CONTAINMENT NETTING	HDPE BIAXIAL NET				
	CONTINUOUSLY WOUND				
	FUSION-WELDED JUNCTURES				
3/4"x3/4" MAX. APERTURE SIZE					
OUTER FILTRATION MESH	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)				
	3/16" MAX. APERTURE SIZE				
SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS					

TABLE 4.2 COMPOST STANDARDS	
ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% - 50% PASS THROUGH #20 SIEVE
SOLUBLE SALT CONCENTRATION	5.0 ds/m (mmhos/cm) MAXIMUM



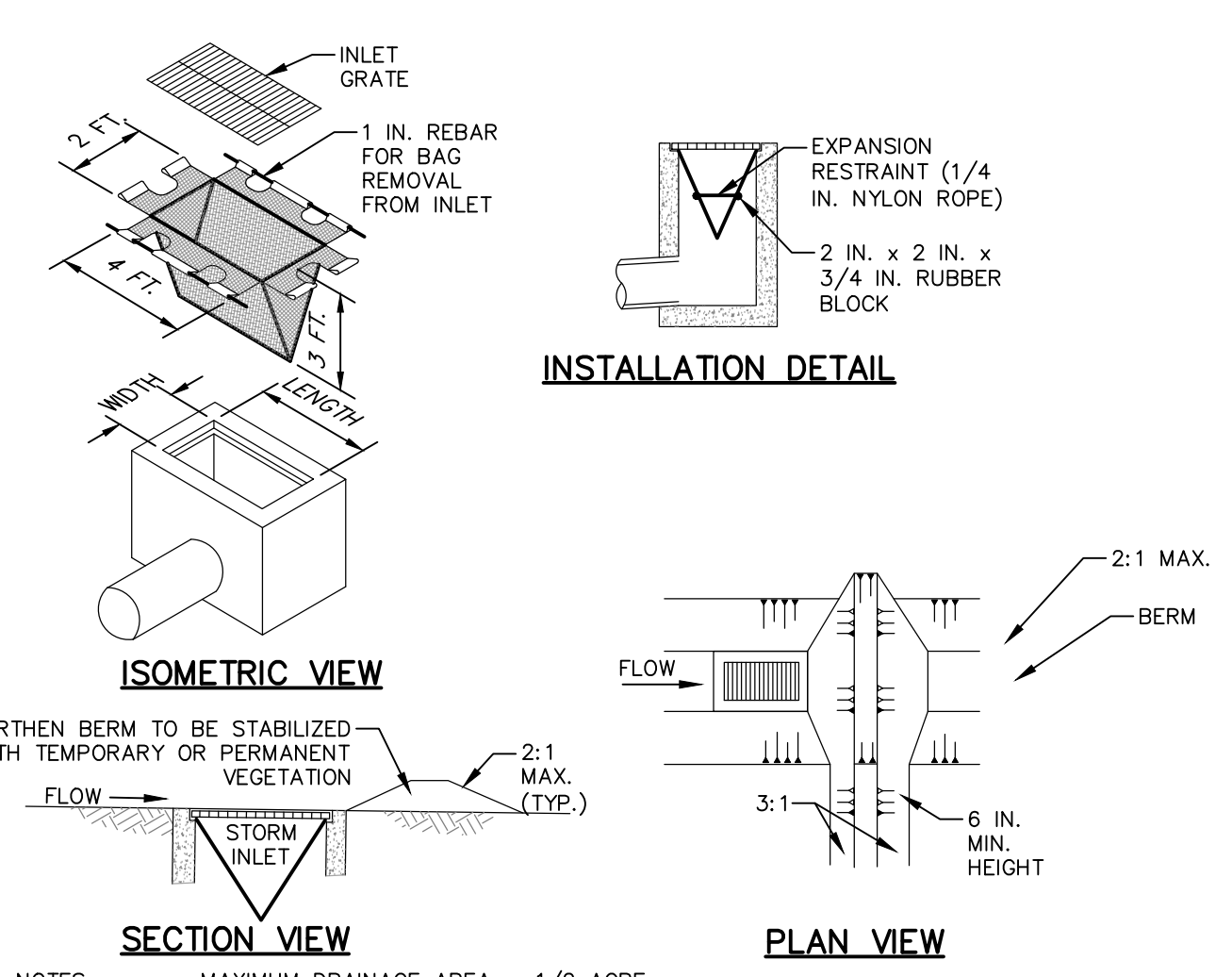
NOTES:
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
 HEAVY CONCRETE BLOCKS OR SIMILAR SHALL BE USED BEHIND COMPOST FILTER SOCKS FOR STABILIZATION WHEN STAKING IS NOT POSSIBLE (SUCH AS ON PAVED SURFACES). BLOCKS SHALL BE SPACED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS FOR STAKES.

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK
 NOT TO SCALE



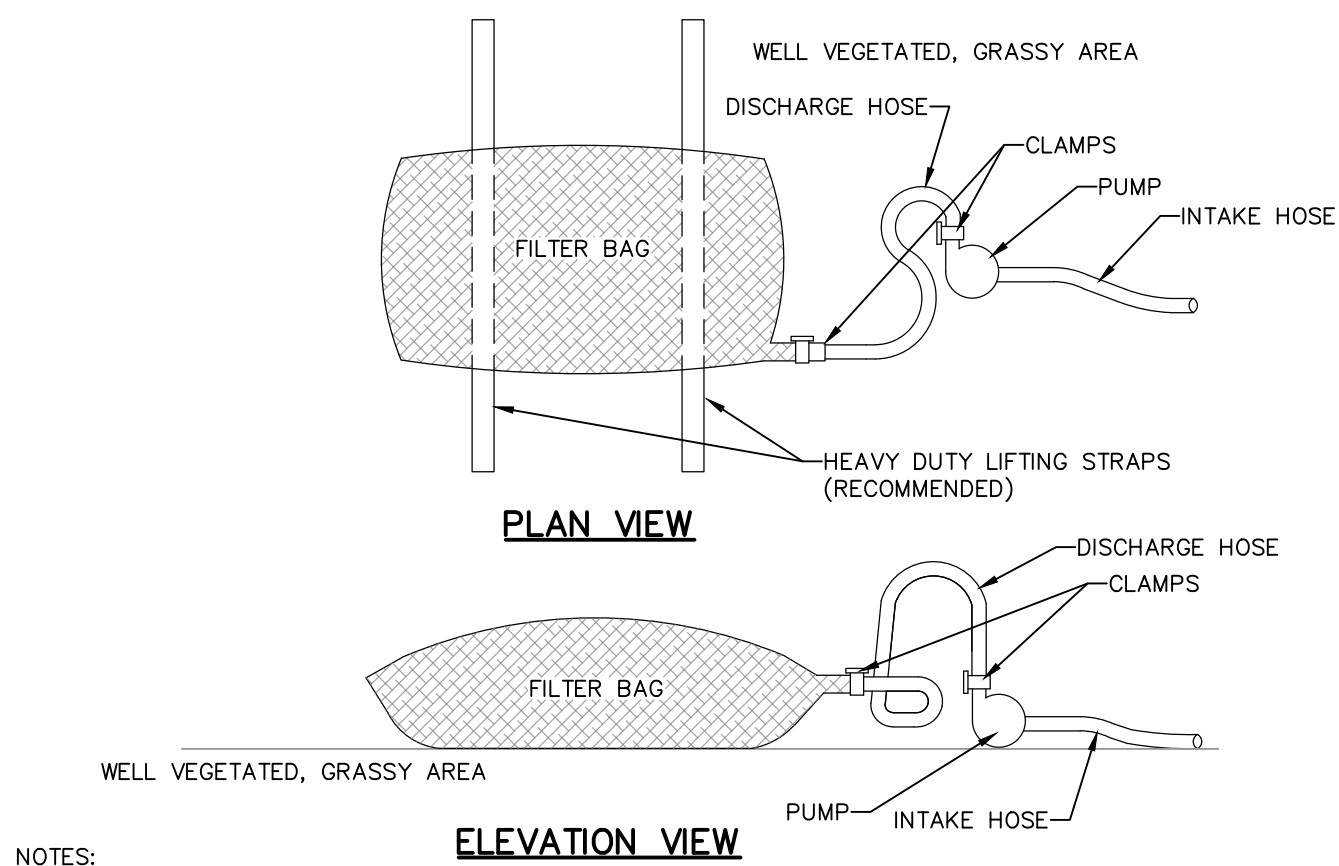
NOTES:
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
 AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
 INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-15 FILTER BAG INLET PROTECTION - TYPE C INLET
 NOT TO SCALE



NOTES:
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.
 AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
 INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET
 NOT TO SCALE



NOTES:
 LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.
 BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.
 NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.
 THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.
 THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.
 FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16 PUMPED WATER FILTER BAG
 NOT TO SCALE

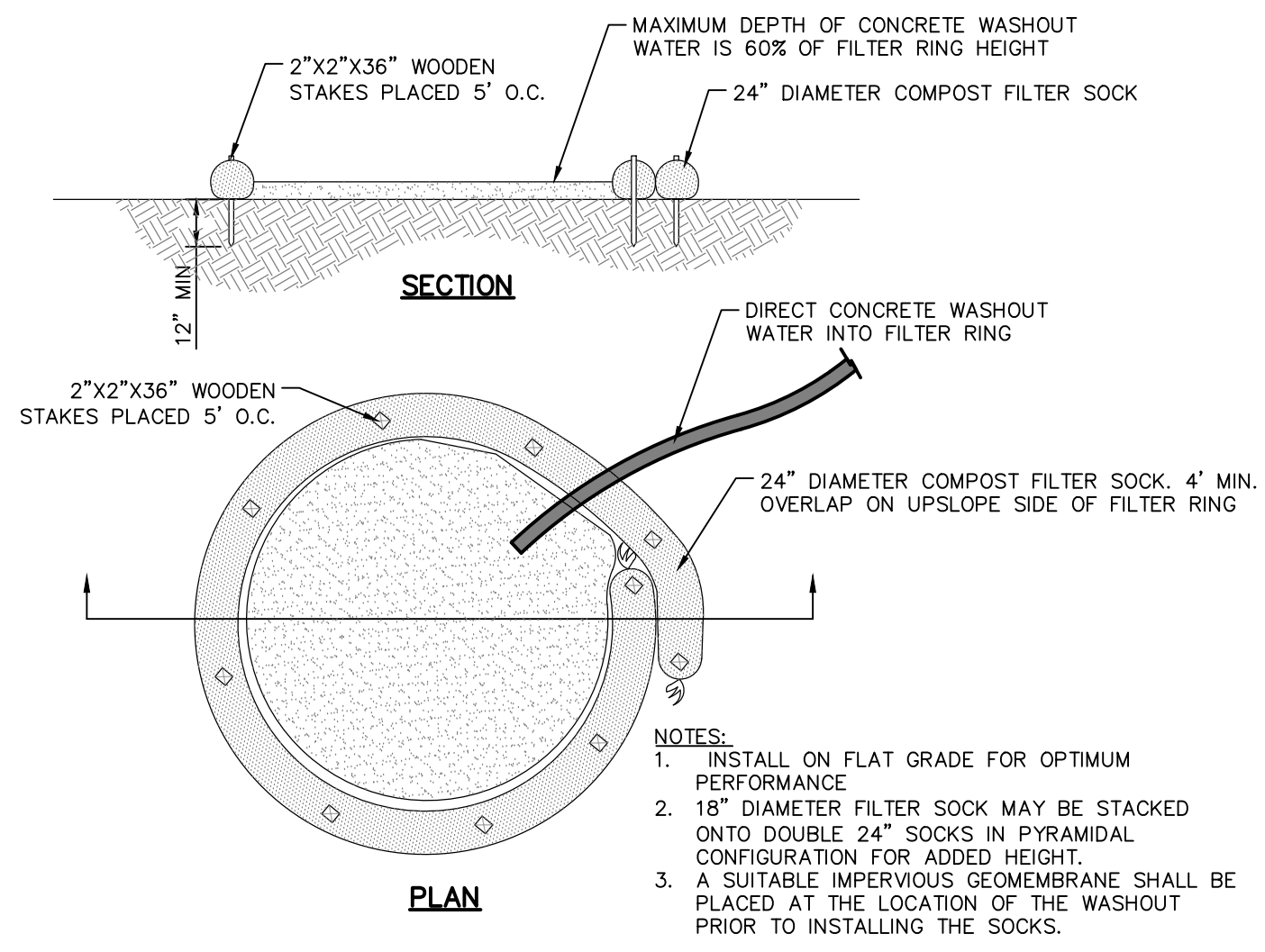
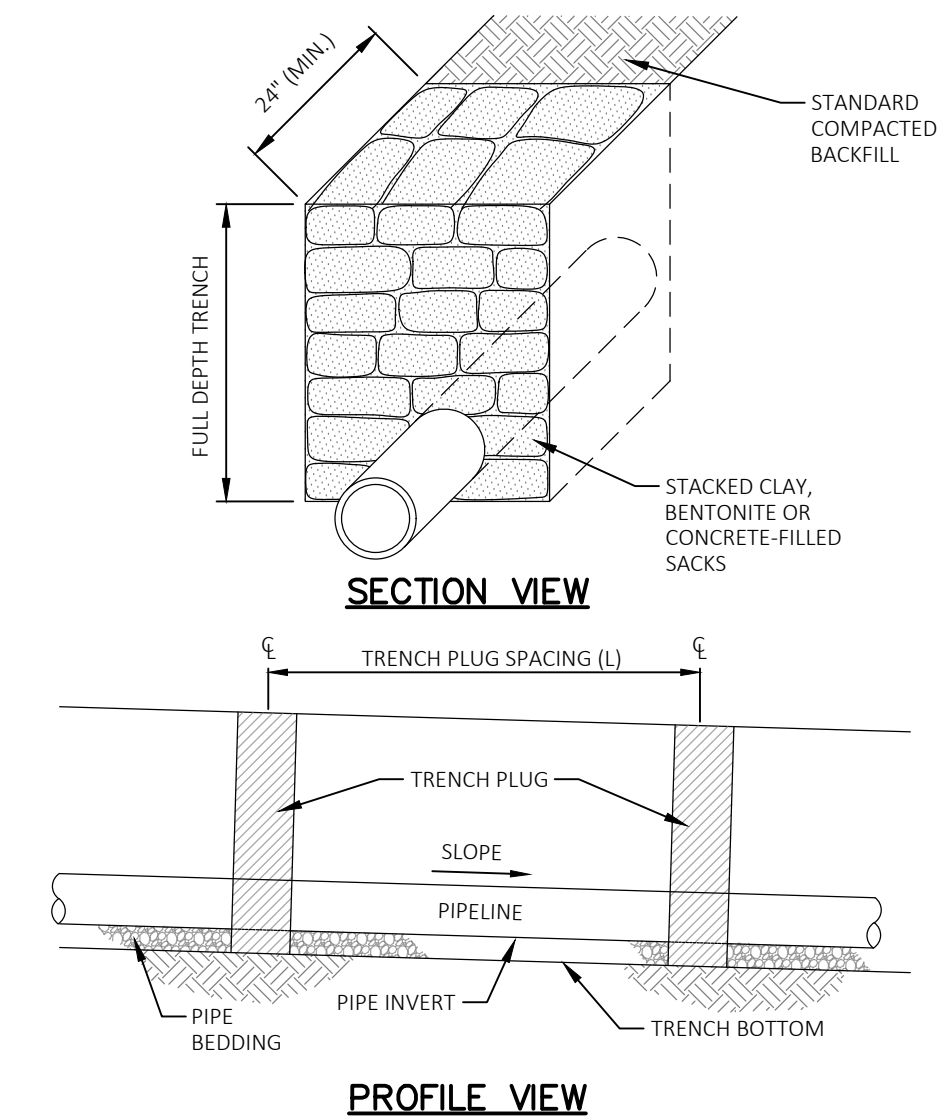


FIGURE #3.18 TYPICAL COMPOST SOCK WASHOUT INSTALLATION
 NOT TO SCALE



PA DEP EROSION CONTROL MANUAL TABLE 13.1
 MAXIMUM SPACING AND MATERIALS FOR TRENCH PLUGS

TRENCH SLOPE (%)	SPACING L (FT)	PLUG MATERIAL
< 5	1000	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS
5 - 15	500	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS
15 - 25	300	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS
25 - 35	200	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS
35 - 100	100	* CLAY, BENTONITE, OR CONCRETE FILLED SACKS
> 100	50	CEMENT BAGS (WETTED) OR MORTARED STONE

NOTES:
 * TOPSOIL MAY NOT BE USED TO FILL SACKS
 IMPERVIOUS TRENCH PLUGS ARE REQUIRED FOR ALL STREAM, RIVER, WETLAND, OR OTHER WATER BODY CROSSINGS.

STANDARD CONSTRUCTION DETAIL #13-4 TRENCH PLUG INSTALLATION
 NOT TO SCALE

FOR REVIEW ASSOCIATES BY:

MANAGER: ABRAM KING
 DESIGN BY: CHD BY: A/JK
 ADP
 DRAWN BY: CHD BY: A/JK
 JUNW
 SURV. CHIEF: FELDBOOK NO. N/A
 N/A

CLIENT: ELIZABETHTOWN REGIONAL SEWER AUTHORITY
 235 ERS A DRIVE
 ELIZABETHTOWN, PA. 17034
 CONTACT: STEVEN RETTEW

AS NOTED

NO. DATE
 A 04/01/2026
 ISSUED FOR PERMIT APPLICATION

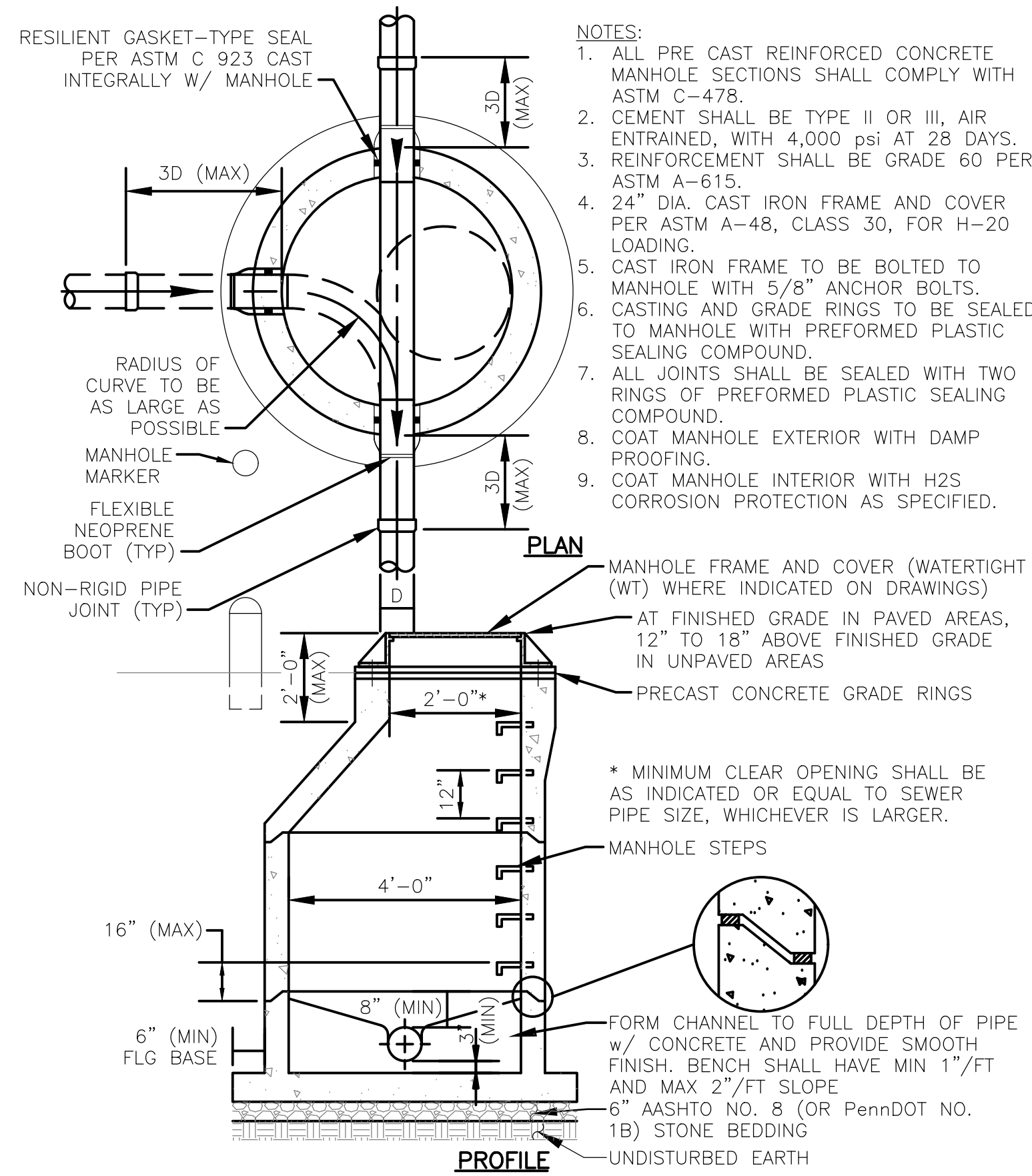
RETTEW.
 RETTEW Associates, Inc.
 3020 Columbia Avenue, Lancaster, PA 17603
 Phone (800) 738-8395
 Email: rette@rette.com
 Website: www.rettew.com

Engineers • Planners • Surveyors • Landscape Architects
 Environmental Consultants

SHEAFFER RD. & MARKET ST.
 GRAVITY SEWER RELOCATION
 FOR
ELIZABETHTOWN REGIONAL SEWER AUTHORITY
 EROSION & SEDIMENTATION CONTROL DETAILS

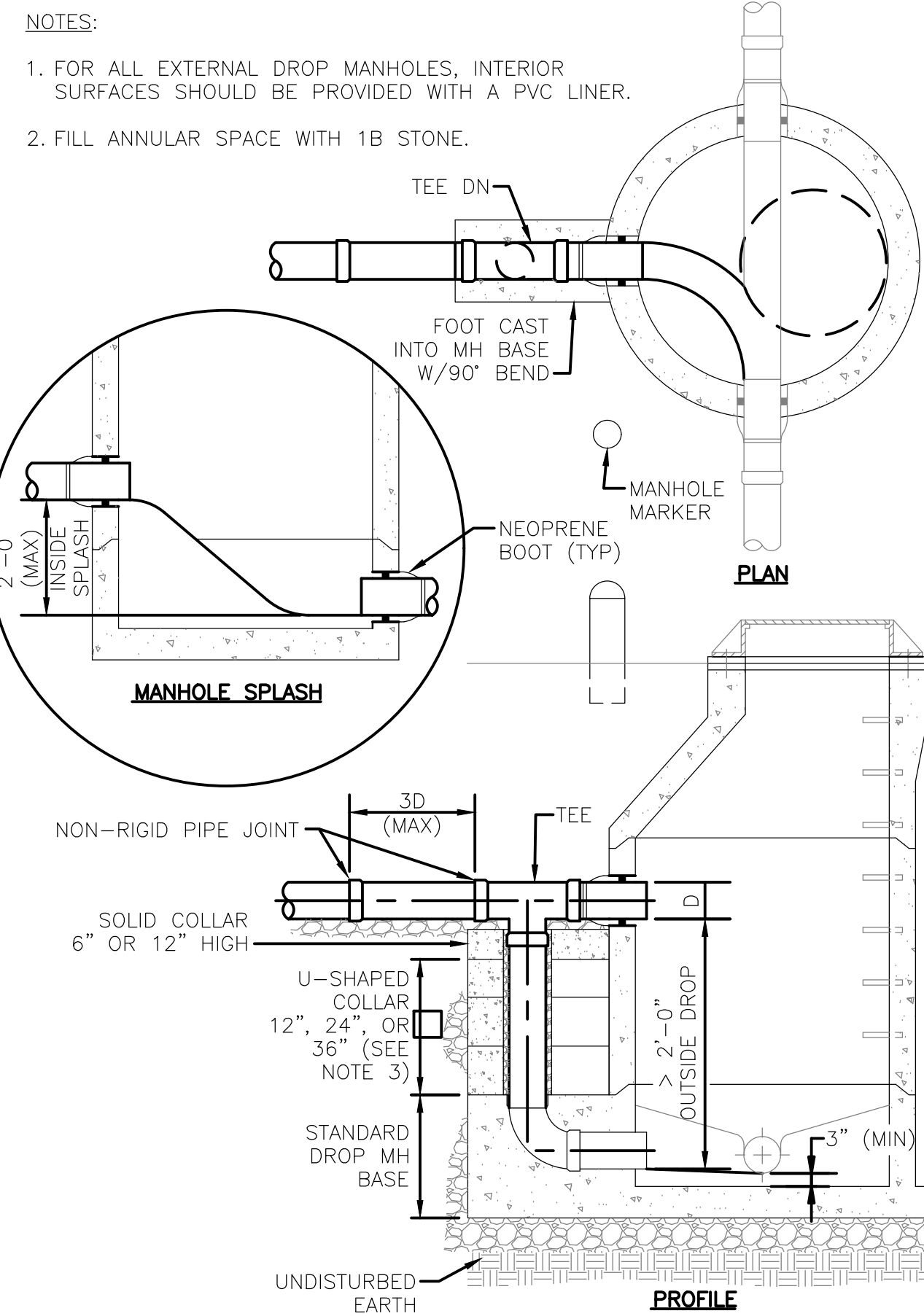
MOUNT JOY TOWNSHIP
 LANCASTER COUNTY, PA

PROJ. NO. 0090305320
 DWG. NO. EC-02



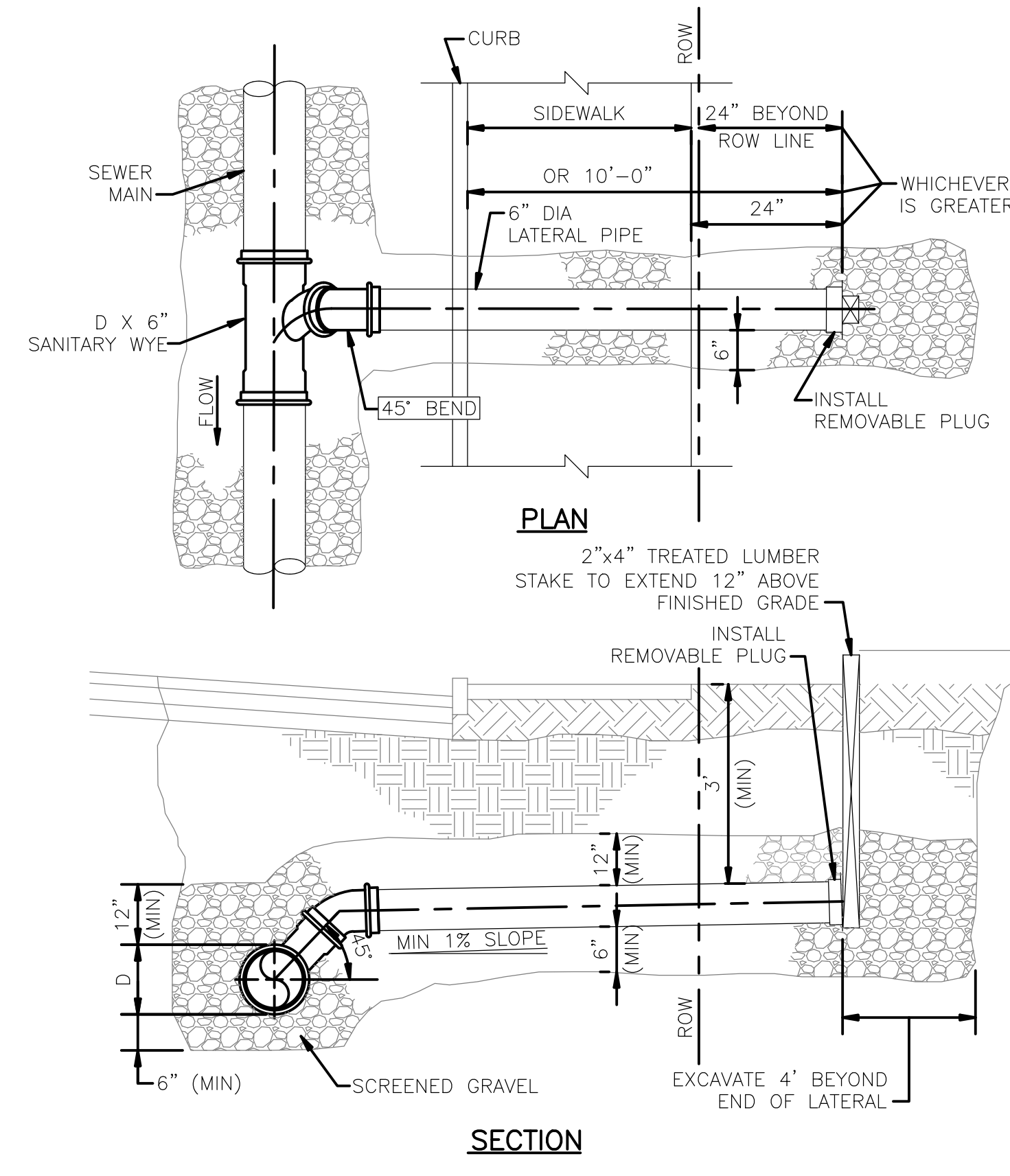
PRECAST CONCRETE MANHOLE

DETAIL 1
NO SCALE C-04



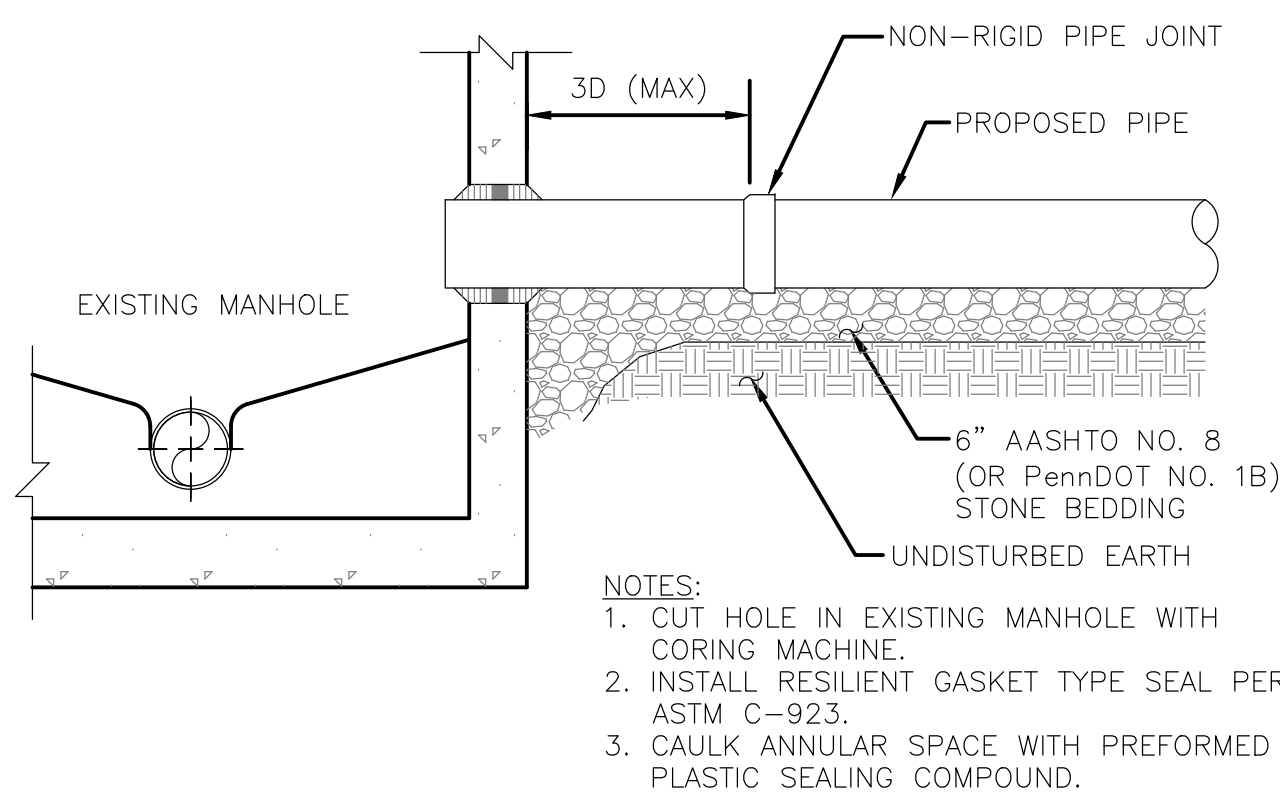
PRECAST DROP MANHOLE BASE

DETAIL 2
NO SCALE C-04



LATERAL RECONNECTION DETAIL

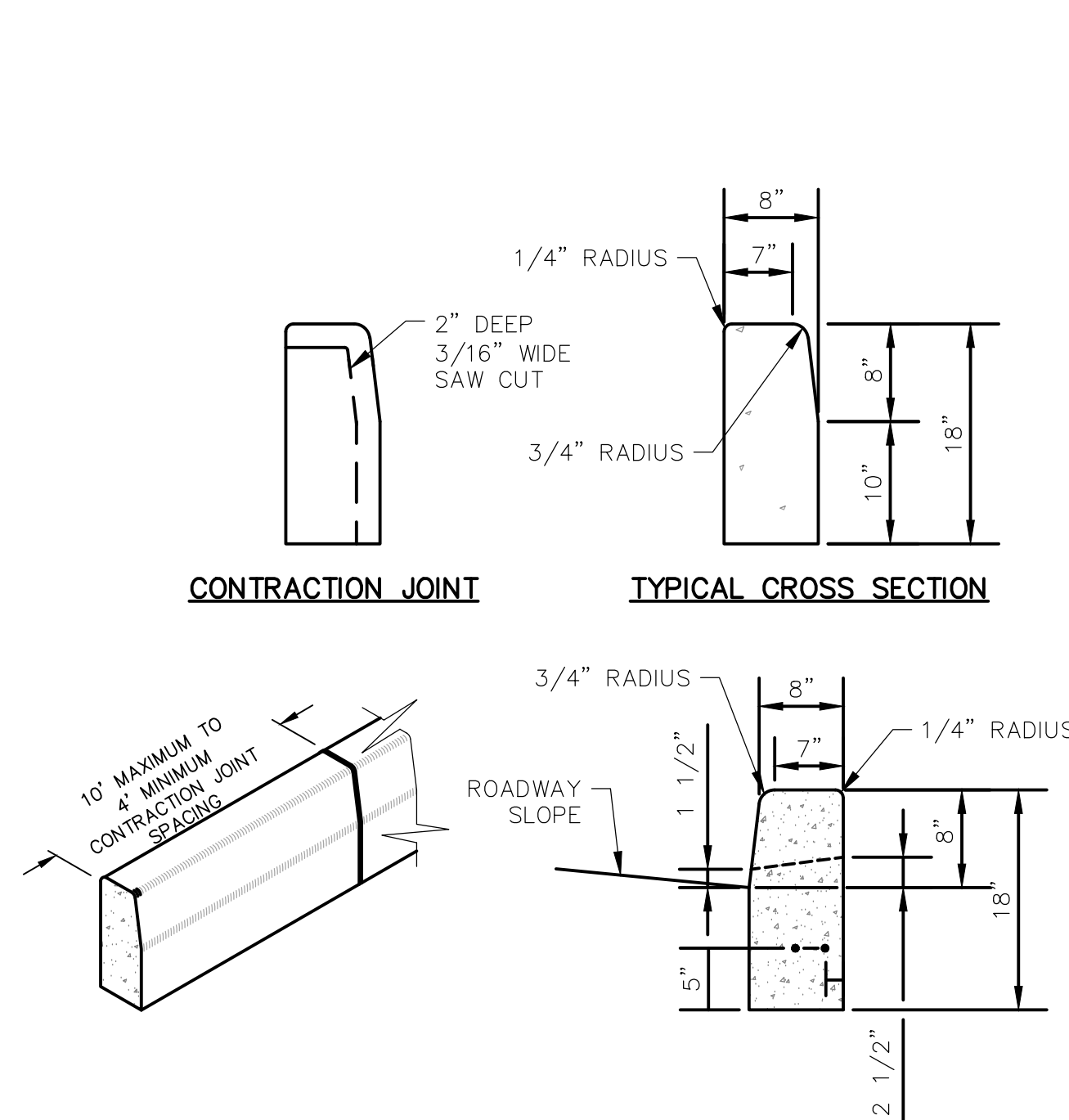
DETAIL 3
NO SCALE C-04



FLEXIBLE CONNECTION AT MANHOLE

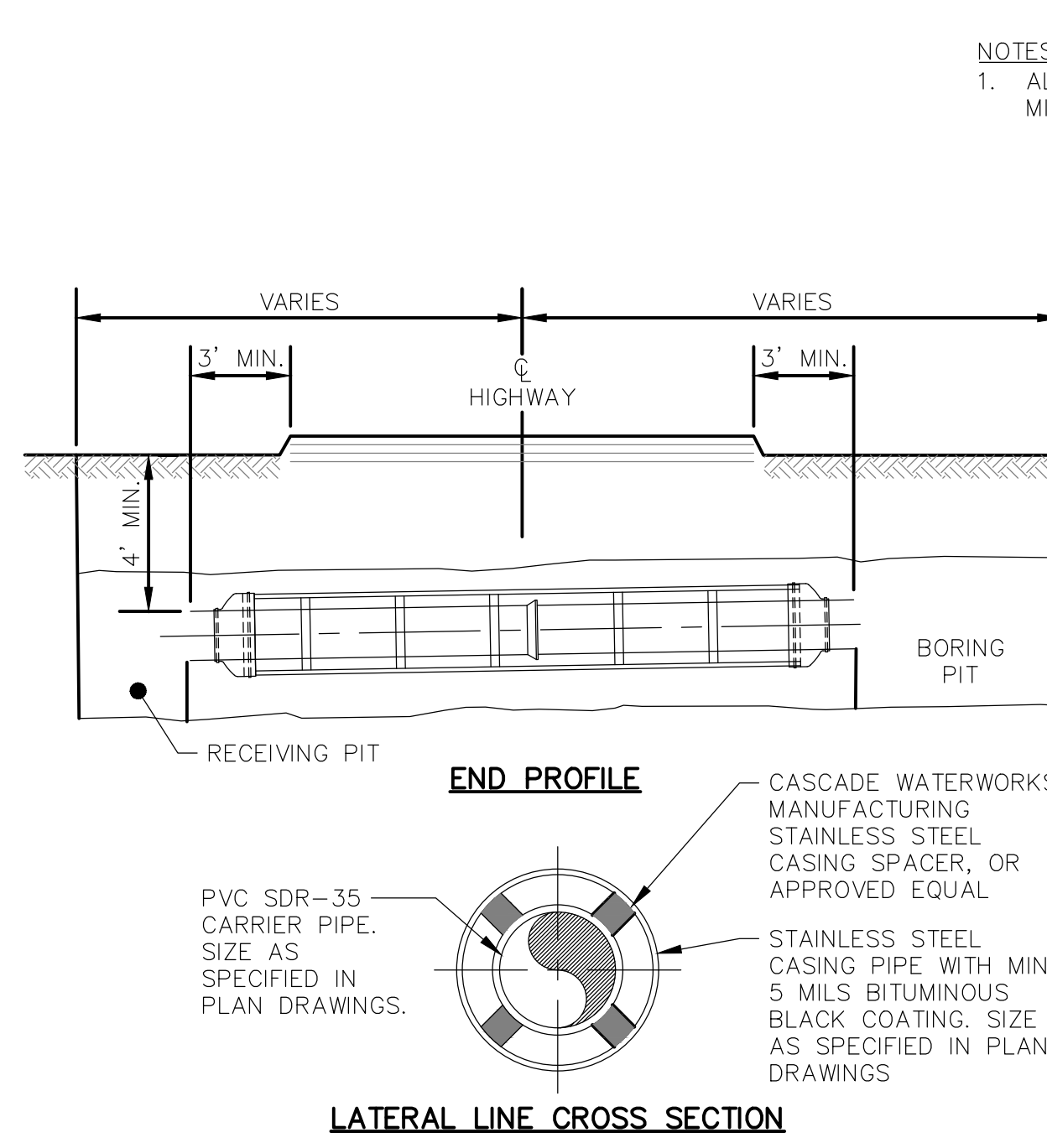
NEW SEWER TO EXISTING MANHOLE CONNECTION

DETAIL 4
NO SCALE C-04



PLAIN CEMENT CONCRETE CURB

DETAIL 5
NO SCALE C-04



GRAVITY LATERAL HIGHWAY CROSSING

DETAIL 6
NO SCALE C-04

BORE NOTES

- NOTES:**
- ALL BORE PITS SHALL BE 3' MINIMUM OFF EDGE OF SHOULDER.
 - THE STEEL CASING PIPE SHALL HAVE A MINIMUM YIELD STRENGTH OF 35,000 PSI, HAVE A THICKNESS AS REQUIRED BUT NOT LESS THAN 0.375 INCHES, AND CONFORM TO AWWA C200 AND ASTM A53.
 - CASING INTERIOR AND EXTERIOR SHALL BE PAINTED WITH TWO COATS OF BITUMINOUS ENAMEL COATING IN ACCORDANCE WITH AWWA C203.
 - PIPE CRADLES OR ISOLATORS SHALL BE AS SHOWN ON THE DETAIL DRAWINGS, APS CASING SPACERS, MODEL SSI, OR APPROVED EQUAL.
 - MINIMUM CASING DIAMETER SHALL BE IN ACCORDANCE WITH PENNDOT OR AMTRAK REQUIREMENTS AS APPLICABLE.
 - THE CARRIER PIPE SHALL BE INSTALLED TO THE EXACT LINE AND GRADE REQUIRED WITHIN THE CASING PIPES SO THAT THE PIPE BELLS DO NOT REST DIRECTLY ON THE CASING. THE LOAD OF THE CARRIER PIPES SHALL BE DISTRIBUTED ALONG THE CASING BY THE METHOD OF SUPPORT SHOWN ON THE DETAIL DRAWINGS.
 - BORED CROSSING SHALL BE COMPLETED IN ACCORDANCE WITH THE APPROVED PENNDOT HOP PLANS.

FOR RETIEW ASSOCIATES BY:

MANAGER: ABRAMAM KING
DESIGN BY: CHKO BY: AJK
DRAWN BY: CHKO BY: AJK
SURV. CHIEF: FELDBOOK NO. N/A

CLIENT: ELIZABETHTOWN REGIONAL SEWER AUTHORITY
235 Ersa Drive
ELIZABETHTOWN, PA. 17034
CONTACT: STEVEN RETIEW

PROJ. NO. 0090305320
DWG. NO. C-04

ELIZABETHTOWN REGIONAL SEWER AUTHORITY
SEWER RELOCATION
SANITARY PIPING DETAILS 1

REVIEW
REVIEW Associates, Inc.
3020 Columbia Avenue, Lancaster, PA 17603
Phone (800) 738-8395
Email: retiew@retiew.com
Website: www.retiew.com

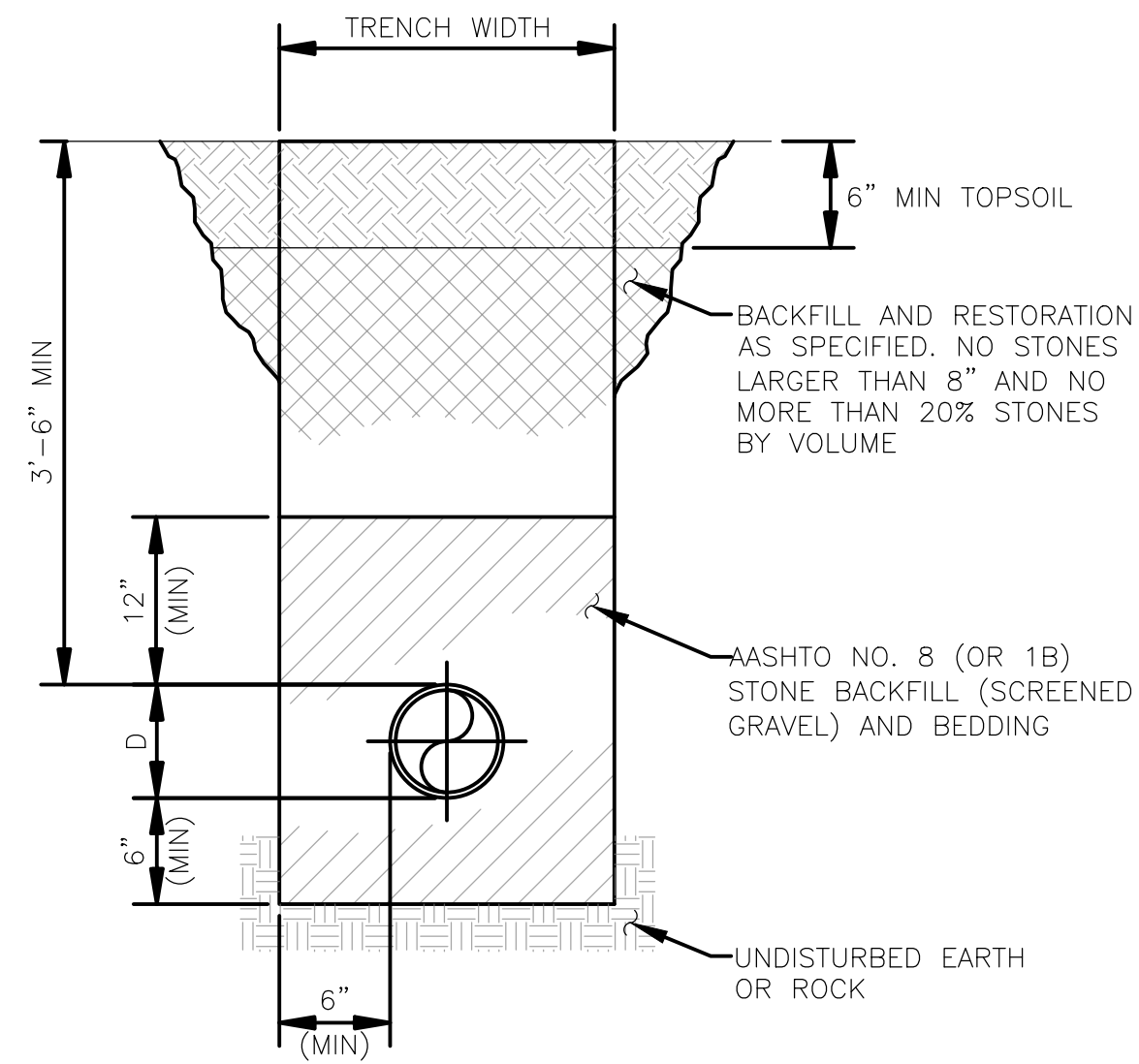
Engineers • Planners • Surveyors • Landscape Architects
Environmental Consultants

MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PA

ISSUED FOR PERMIT APPLICATION
DATE

NO.

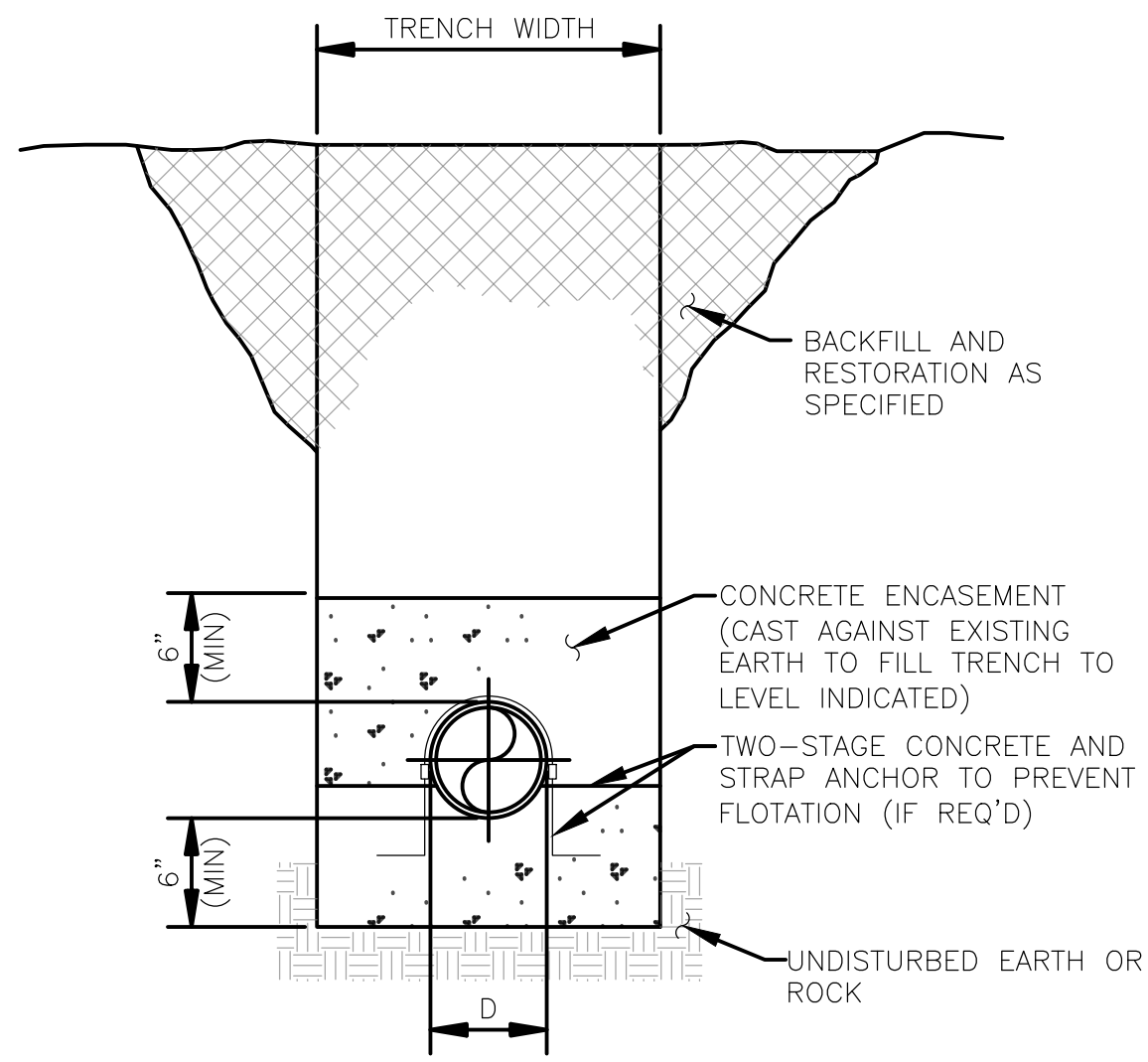
REVISION



NOTE:
TRENCH SIDE SLOPES SHALL BE IN ACCORDANCE WITH OSHA REQUIREMENTS. BEGIN SIDE SLOPES, IF USED, APPROXIMATELY 18" ABOVE TOP OF PIPE (TYPICAL ALL BEDDING TYPES).

RIGHT-OF-WAY RESTORATION

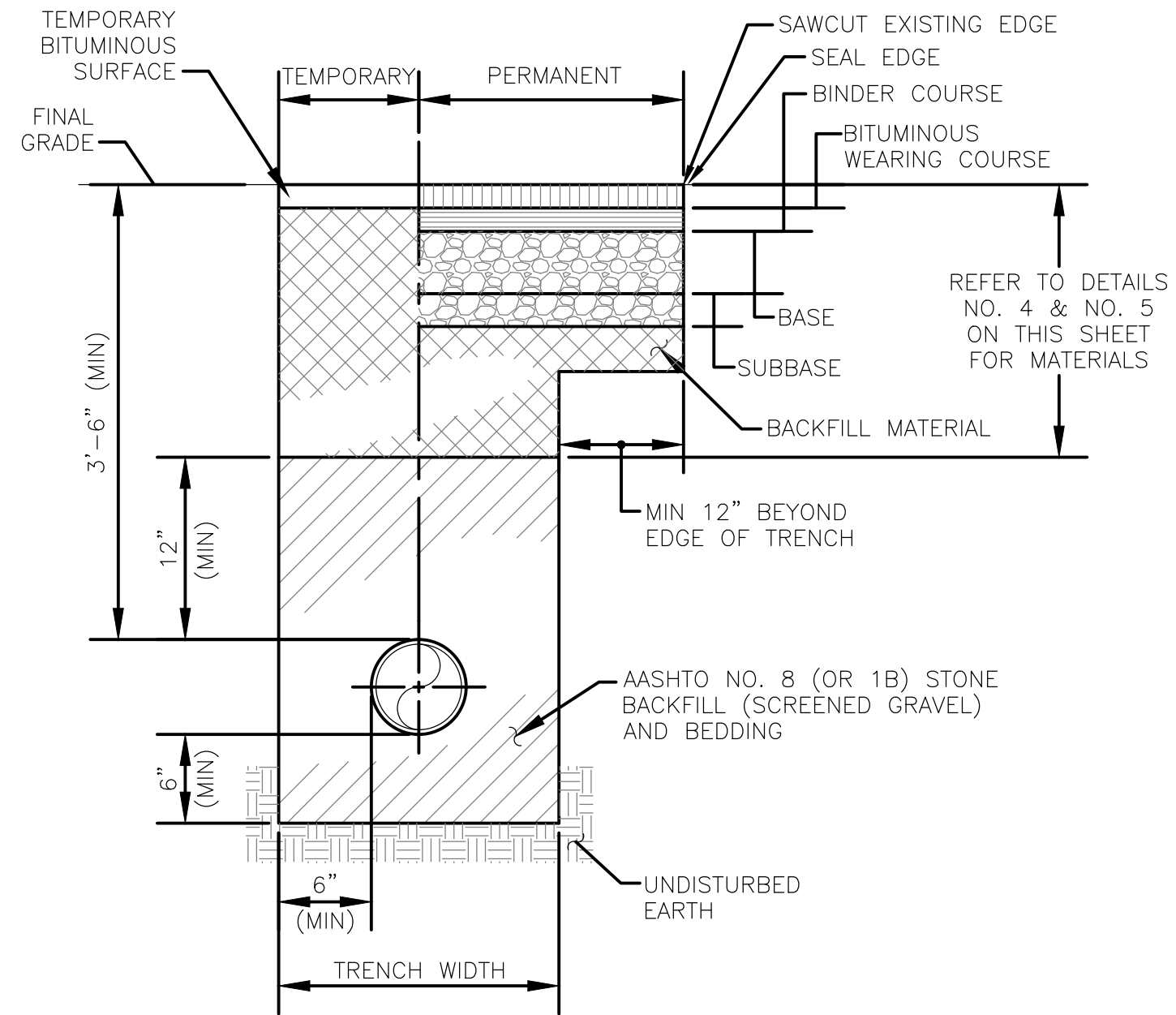
DETAIL 1
NO SCALE C-05



NOTE:
TRENCH SIDE SLOPES SHALL BE IN ACCORDANCE WITH OSHA REQUIREMENTS. BEGIN SIDE SLOPES, IF USED, APPROXIMATELY 18" ABOVE TOP OF PIPE (TYPICAL ALL BEDDING TYPES).

CONCRETE ENCASEMENT

DETAIL 2
NO SCALE C-05

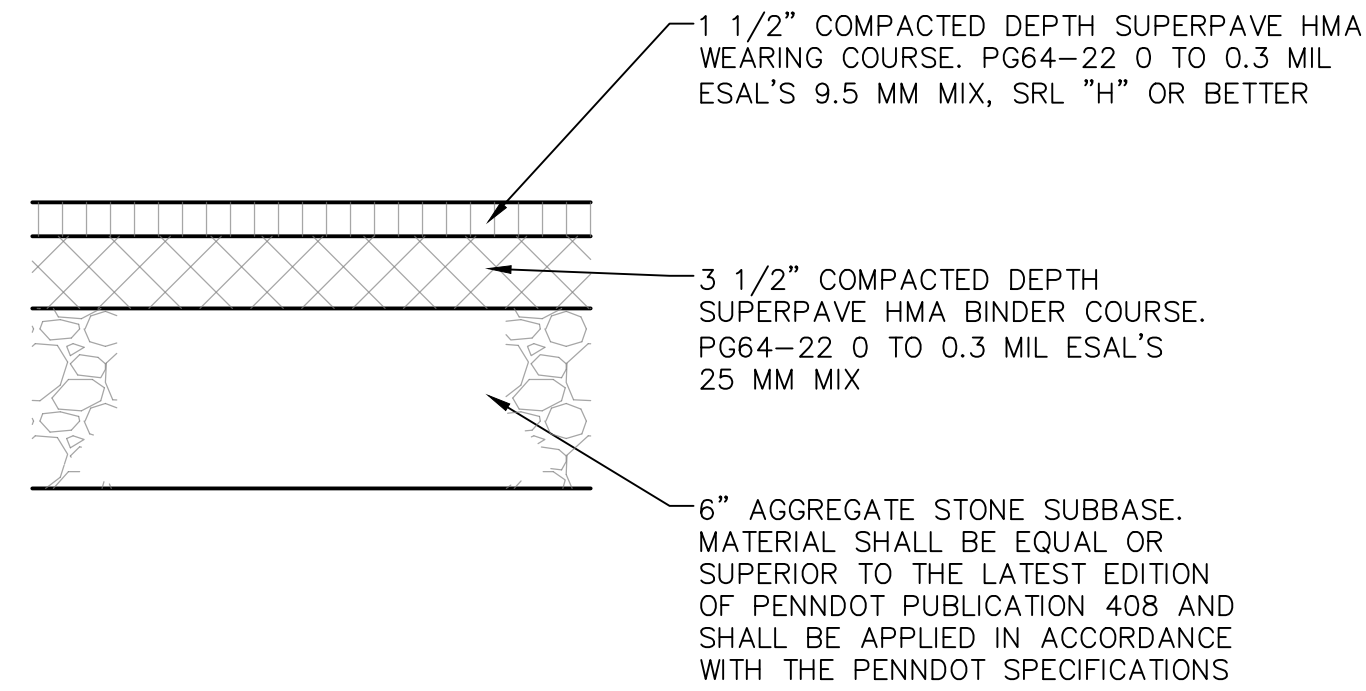


NOTES:

- BACKFILL & PAVEMENT RESTORATION IN STATE ROADS SHALL BE AS SPECIFIED BY PADOT.
- BACKFILL & PAVEMENT RESTORATION IN TOWNSHIP ROADS, ACCESS DRIVES, PARKING AREAS AND LOADING AREAS SHALL BE AS SPECIFIED IN THE WEST DONEGAL TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

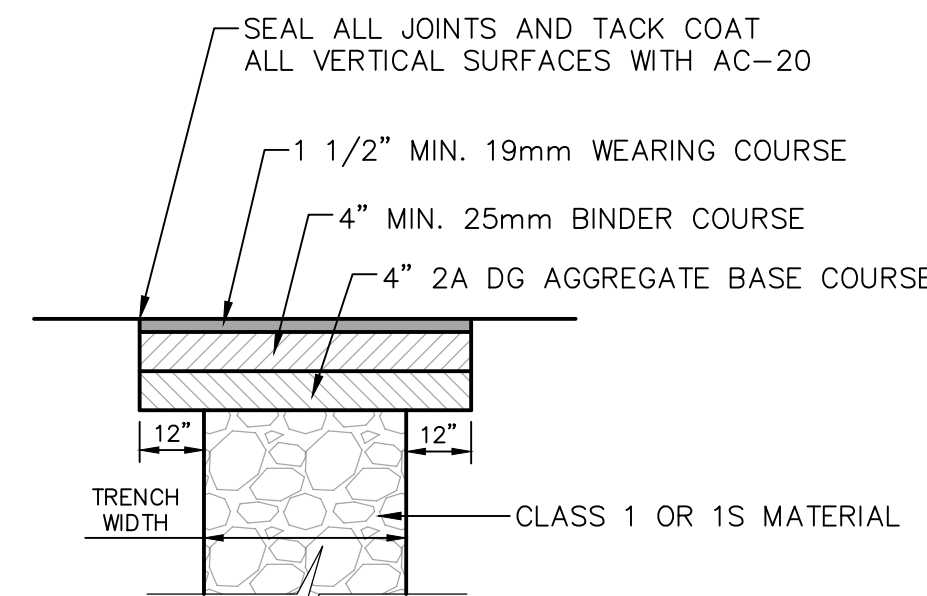
MUNICIPAL PAVEMENT RESTORATION

DETAIL 3
NO SCALE C-05



PARKING LOT RESTORATION

DETAIL 4
NO SCALE C-05



NOTES:

- ALL VERTICAL CUTS SHALL BE SAWCUT ONLY
- MATERIAL AND PLACEMENT FOR COARSE AND FINE AGGREGATES SHALL BE IN ACCORDANCE WITH PENNDOT SPECIFICATIONS PUBLICATIONS 408, LATEST EDITION.

MUNICIPAL ROAD RESTORATION

DETAIL 5
NO SCALE C-05

NO.	DATE	REVISION
A	04/01/2026	ISSUED FOR PERMIT APPLICATION

FOR RETTEW ASSOCIATES BY:	MANAGER:	CHKD BY:	CHKD BY:	CHKD BY:	FIELDBOOK NO.
	ABRAHAM KING	ADF	AJK	ADF	N/A
	DESIGN BY:	DRAWN BY:	SURV. CHIEF:		
	ADF	JUNW	N/A		

CLIENT
ELIZABETHTOWN REGIONAL SEWER AUTHORITY
235 ERS A DRIVE
ELIZABETHTOWN, PA. 17034
CONTACT: STEVEN RETTEW

RETTEW
Engineers • Planners • Surveyors • Landscape Architects
Environmental Consultants
RETTEW Associates, Inc.
3020 Columbia Avenue, Lancaster, PA 17603
Phone (800) 738-8395
Email: rettew@rettew.com
Website: www.rettew.com

SHEAFFER RD. & MARKET ST.
GRAVITY SEWER RELOCATION
for
ELIZABETHTOWN REGIONAL SEWER AUTHORITY
TRENCH & GRADE RESTORATION DETAILS I
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PA

PROJ. NO.	0090305320
DWG. NO.	C-05

ATTACHMENT 11 – COMPONENT 4As



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER

DEP Code #: _____

**SEWAGE FACILITIES PLANNING MODULE
COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
Sheaffer Road and Market Street Gravity Sanitary Relocation

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency _____
2. Date review completed by agency _____

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)?
<input type="checkbox"/>	<input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	3. Is this proposal consistent with the use, development, and protection of water resources? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation?
<input type="checkbox"/>	<input type="checkbox"/>	5. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impacts _____
<input type="checkbox"/>	<input type="checkbox"/>	6. Will any known historical or archaeological resources be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input type="checkbox"/>	7. Will any known endangered or threatened species of plant or animal be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input type="checkbox"/>	8. Is there a municipal zoning ordinance?
<input type="checkbox"/>	<input type="checkbox"/>	9. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance?
<input type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
<input type="checkbox"/>	<input type="checkbox"/>	12. Is there a municipal subdivision and land development ordinance?

SECTION C. AGENCY REVIEW (continued)

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	13. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	14. Is this plan consistent with the municipal Official Sewage Facilities Plan? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____
<input type="checkbox"/>	<input type="checkbox"/>	16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
<input type="checkbox"/>	<input type="checkbox"/>	If yes, is the proposed waiver consistent with applicable ordinances? If no, describe the inconsistencies _____
17. Name, title and signature of planning agency staff member completing this section: Name: _____ Title: _____ Signature: _____ Date: _____ Name of Municipal Planning Agency: _____ Address _____ Telephone Number: _____		

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF CLEAN WATER

DEP Code #:

**SEWAGE FACILITIES PLANNING MODULE
COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the local municipal planning agency for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

Sheaffer Road and Market Street Gravity Sanitary Relocation

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency _____
2. Date review completed by agency _____

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i>)?
<input type="checkbox"/>	<input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	3. Is this proposal consistent with the use, development, and protection of water resources? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation?
<input type="checkbox"/>	<input type="checkbox"/>	5. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impacts _____
<input type="checkbox"/>	<input type="checkbox"/>	6. Will any known historical or archaeological resources be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input type="checkbox"/>	7. Will any known endangered or threatened species of plant or animal be impacted by this project? If yes, describe impacts _____
<input type="checkbox"/>	<input type="checkbox"/>	8. Is there a municipal zoning ordinance?
<input type="checkbox"/>	<input type="checkbox"/>	9. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance?
<input type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
<input type="checkbox"/>	<input type="checkbox"/>	12. Is there a municipal subdivision and land development ordinance?

SECTION C. AGENCY REVIEW (continued)

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	13. Is this proposal consistent with the ordinance? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	14. Is this plan consistent with the municipal Official Sewage Facilities Plan? If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____
<input type="checkbox"/>	<input type="checkbox"/>	16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
<input type="checkbox"/>	<input type="checkbox"/>	If yes, is the proposed waiver consistent with applicable ordinances? If no, describe the inconsistencies _____
17. Name, title and signature of planning agency staff member completing this section: Name: _____ Title: _____ Signature: _____ Date: _____ Name of Municipal Planning Agency: _____ Address _____ Telephone Number: _____		

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit municipal planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.

ATTACHMENT 12 – COMPONENT 4B



SEWAGE FACILITIES PLANNING MODULE COMPONENT 4B - COUNTY PLANNING AGENCY REVIEW

(or Planning Agency with Areawide Jurisdiction)

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning package and one copy of this *Planning Agency Review Component* should be sent to the county planning agency or planning agency with areawide jurisdiction for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

Sheaffer Road and Market Street Gravity Sanitary Relocation

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county planning agency _____
2. Date plan received by planning agency with areawide jurisdiction _____
Agency name _____
3. Date review completed by agency _____

SECTION C. AGENCY REVIEW (See Section C of instructions)

- | Yes | No | |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | 1. Is there a county or areawide comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101 <i>et seq.</i>)? |
| <input type="checkbox"/> | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use? |
| <input type="checkbox"/> | <input type="checkbox"/> | 3. Does this proposal meet the goals and objectives of the plan?
If no, describe goals and objectives that are not met _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with the use, development, and protection of water resources?
If no, describe inconsistency _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 5. Is this proposal consistent with the county or areawide comprehensive land use planning relative to Prime Agricultural Land Preservation?
If no, describe inconsistencies: _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 6. Does this project propose encroachments, obstructions, or dams that will affect wetlands?
If yes, describe impact _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. Will any known historical or archeological resources be impacted by this project?
If yes, describe impacts _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 8. Will any known endangered or threatened species of plant or animal be impacted by the development project?
If yes, describe impacts _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 9. Is there a county or areawide zoning ordinance? |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. Does this proposal meet the zoning requirements of the ordinance?
If no, describe inconsistencies _____ |

SECTION C. AGENCY REVIEW (continued)

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained?
<input type="checkbox"/>	<input type="checkbox"/>	12. Is there a county or areawide subdivision and land development ordinance?
<input type="checkbox"/>	<input type="checkbox"/>	13. Does this proposal meet the requirements of the ordinance? If no, describe which requirements are not met _____
<input type="checkbox"/>	<input type="checkbox"/>	14. Is this proposal consistent with the municipal Official Sewage Facilities Plan? If no, describe inconsistency _____
<input type="checkbox"/>	<input type="checkbox"/>	15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____
<input type="checkbox"/>	<input type="checkbox"/>	16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
<input type="checkbox"/>	<input type="checkbox"/>	If yes, is the proposed waiver consistent with applicable ordinances. If no, describe the inconsistencies _____
<input type="checkbox"/>	<input type="checkbox"/>	17. Does the county have a stormwater management plan as required by the Stormwater Management Act?
<input type="checkbox"/>	<input type="checkbox"/>	If yes, will this project plan require the implementation of storm water management measures?
		18. Name, Title and signature of person completing this section: Name: _____ Title: _____ Signature: _____ Date: _____ Name of County or Areawide Planning Agency: _____ Address: _____ Telephone Number: _____

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.

This component and any additional comments are to be returned to the applicant.