

1. THE INTENT OF THIS LOT ADD-ON PLAN IS TO ADD A 0.880 ACRE PARCEL FROM THE PARENT TRACT LOT NO. 1 TO LOT NO. 2.
2. PERMANENT 5/8" REBARS (○) AND CONCRETE MONUMENTS (■) SHALL BE INSTALLED UPON APPROVAL OF THIS PLAN.
3. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
4. PARKING HAS BEEN PROVIDED FOR EACH LOT AS PER THE MOUNT JOY TOWNSHIP ZONING ORDINANCE.
5. UNDERGROUND UTILITIES HAVE BEEN SHOWN ACCORDING TO INFORMATION PROVIDED BY OTHERS AND MAY NOT BE FIELD VERIFIED. EXISTING UTILITY LOCATIONS ARE BEING NOTED. THE ACTUAL LOCATIONS OF THESE UNDERGROUND UTILITIES HAVE NOT BEEN FIELD VERIFIED AND THE LOCATIONS ARE APPROXIMATE. STRAUSSER SURVEYING AND ENGINEERING, INC. DOES NOT MAKE ANY REPRESENTATION, WARRANTY, ASSURANCE OR GUARANTEE THAT THE UNDERGROUND UTILITY LOCATION PROVIDED BY OTHERS AND REFLECTED ON THESE DRAWINGS IS CORRECT AND ACCURATE. STRAUSSER SURVEYING AND ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR ANY DAMAGE INCURRED AS A RESULT OF UNDERGROUND UTILITIES OMITTED OR INACCURATELY SHOWN.
6. ANY REVISIONS TO THIS PLAN AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION SHALL NOT BE FIELD VERIFIED. STRAUSSER SURVEYING AND ENGINEERING, INC. SUBSTITUTIONS FOR ANY MATERIAL NOTED ON THIS PLAN OR REVISIONS TO THIS PLAN REQUIRES PRIOR WRITTEN APPROVAL FROM THE APPROPRIATE AUTHORITY.
7. NO ONE SHALL SCALE FROM THIS PLAN FOR CONSTRUCTION PURPOSES.
8. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. THIS PLAN DOES NOT GUARANTEE OR IMPLY THAT THE PROPERTY IS NOT AFFECTED BY RIGHTS OF WAY, EASEMENTS, RESTRICTIONS, ETC., WHICH MAY BE DISCOVERED BY A COMPLETE TITLE SEARCH.
9. PARCEL "A" SHALL BE JOINED IN COMMON WITH LOT NO. 2 AND MADE A PART THEREOF. TOTAL AREA 10.302 ACRES.
10. THE EXISTING DWELLINGS SHOWN HEREON ARE SERVED BY AN ON-LOT WELLS AND BY ON-LOT SEWAGE DISPOSAL SYSTEMS.
11. ALL SIGNIFICANT ENVIRONMENTAL FEATURES, TOPOGRAPHICAL FEATURES, EXISTING RIGHT OF WAYS AND CARTWAYS FOR STREETS, ACCESS DRIVES AND SERVICE STREETS WITHIN 200 FEET OF THE SUBJECT TRACT HAVE BEEN DELINEATED AS SHOWN HEREON.
12. LOT NO. 1 HAS BEEN PREVIOUSLY BEEN RECORDED IN SUBDIVISION PLAN BOOK J-183 PAGE 91, AND LOT NO. 2 IN DOCUMENT ID NO. 2014-0013-J AND J-174 PAGE 95. THERE ARE NO NOTES OR RESTRICTIONS ON THE PREVIOUSLY RECORDED PLANS THAT AFFECT THE CURRENT PROJECT.
13. ALL LANDS WITHIN THE AGRICULTURAL ZONE ARE LOCATED WITHIN AN AREA WHERE LAND IS USED FOR COMMERCIAL AGRICULTURAL PRODUCTION. OWNERS, RESIDENTS AND OTHER USERS OF THIS AREA MAY BE SUBJECT TO INCONVENIENCE, DISCOMFORT, AND THE POSSIBILITY OF INJURY TO PROPERTY AND HEALTH ARISING FROM NORMAL AND ACCEPTED AGRICULTURAL PRACTICES AND OPERATIONS, INCLUDING, BUT NOT LIMITED TO, NOISE, DUST, VIBRATION, THE OPERATION OF MACHINERY OF ANY KIND, INCLUDING AIRCRAFT, THE STORAGE AND DISPOSAL OF MANURE, THE APPLICATION OF FERTILIZERS, SOIL AMENDMENTS, HERBICIDES, PESTICIDES AND NIGHT/WEEKEND OPERATIONS. OWNERS, OCCUPANTS AND USERS OF THIS PROPERTY SHOULD BE PREPARED TO ACCEPT SUCH INCONVENIENCES, DISCOMFORT, AND POSSIBILITY OF INJURY FROM NORMAL AGRICULTURAL OPERATIONS, AND ARE HEREBY PUT ON OFFICIAL NOTICE THAT SECTION 4 OF PENNSYLVANIA ACT 133 OF 1982, THE "RIGHT TO FARM" LAW, AND THE AGRICULTURE COMMUNITIES AND RURAL ENVIRONMENT (ACRE), ALLOW THE POSSIBILITY OF INJURY FROM NORMAL AGRICULTURAL OPERATIONS, AND ARE HEREBY PUT ON OFFICIAL NOTICE THAT SECTION 4 OF PENNSYLVANIA ACT 133 OF 1982, THE "RIGHT TO FARM" LAW, AND THE AGRICULTURE COMMUNITIES AND RURAL ENVIRONMENT (ACRE), ALLOW THE POSSIBILITY OF INJURY FROM NORMAL AGRICULTURAL OPERATIONS. FROM THE EFFECTIVE DATE, ALL SUBSEQUENT SUBDIVISION PLANS SUBMITTED WITHIN THE (ARH) ZONE SHALL REQUIRE A NOTE WHICH DUPLICATES THIS SECTION AND WHICH MUST BE TRANSFERRED TO THE PURCHASER BY THE SELLER.
14. THE BEARINGS SHOWN ON THIS PLAN ARE BASED ON STATE PLANE COORDINATES ZONE 3702 HORIZONTAL DATUM NAD83.
15. THE EXISTING DWELLING, BARN AND BUILDING SHOWN ON LOT NO. 1 ARE EXISTING NON-CONFORMITIES.
16. LOT NO. 1, BLOCK "A" WAS CREATED ON AUGUST 11, 1993 PER A PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS FOR LANCASTER COUNTY AS J-183, PAGE 91. LOT NO. 1, BLOCK "A" WAS NOT ALLOCATED ANY ADDITIONAL FUTURE SUBDIVISION/BUILDING RIGHTS OTHER THAN THE RIGHT TO BUILD THE ONE PRINCIPLE USE THAT ACCOMPANIED THE CREATION OF THE TRACT.
17. LOT NO. 2, BLOCK "A" WAS CREATED ON JULY 1, 1991 PER A PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS FOR LANCASTER COUNTY AS J-174, PAGE 95. LOT NO. 2, BLOCK "A" WAS NOT ALLOCATED ANY ADDITIONAL FUTURE SUBDIVISION/BUILDING RIGHTS OTHER THAN THE RIGHT TO BUILD THE ONE PRINCIPLE USE THAT ACCOMPANIED THE CREATION OF THE TRACT. THIS PLAN PAGES 4 & 5 WILL CHANGE WHERE PARCEL "A" WILL BE TRANSFERRED FROM LOT NO. 1, BLOCK "A" TO LOT NO. 2, BLOCK "A". NO SUBDIVISION/BUILDING RIGHTS ARE USED OR TRANSFERRED AS A RESULT OF THIS PLAN."

**OWNER**

**JACOB B. AND RUTH S.  
HUYARD  
1835 RISSER MILL ROAD  
MOUNT JOY, PA 17552**

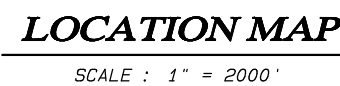
**DOCUMENT ID**  
**20246785249**  
**LOT No. 2**

461-03206-0-0000  
LOT No. 2

ON THIS, THE        DAY OF           , 20      , BEFORE ME THE UNDERSIGNED  
OFFICER, PERSONALLY APPEARED ARTHUR S. ALKER, JR., WHO BEING DULY SWORN OR AFFIRMED  
ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE OWNER OF THE PROPERTY SHOWN ON THIS  
MAP, THAT THE PLAN WAS MADE AT HIS DIRECTION, AND HE KNOWLEDGES THE SAME TO BE HIS  
ACT AND AN, AND THAT HE DESTINES THE SAME TO BE RECORDED AND THAT ALL STREETS AND OTHER  
PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT  
FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

ON THIS, THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME THE UNDERSIGNED OFFICER, PERSONALLY APPEARED, JACOB B. AND RUTH S. HUAYARD, WHO BEING DULY SWORN OR AFFIRMED ACCORDING TO LAW, DEPOSES AND SAYS THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT THEIR DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE THEIRS AND THAT THEY DESIRE THAT THE SAME BE RECORDED AND THAT THE AREAS, STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS Labeled "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

NOTARY PUBLIC



WILLIAM J. DAVIS, PLS



**\*\* TO BE RECORDED**

NUMBER OF LOTS	- 2
NUMBER OF DWLLING UNITS	- 2
NUMBER OF ACRES	- 15.303 ACRES
DENSITY	- 0.130 UNITS/ACRE
USE OF LAND	- RESIDENTIAL
ZONING	- AGRICULTURAL
MINIMUM LOT SIZE	- 1 ACRE
MAXIMUM LOT SIZE	- 2.5 ACRES
MINIMUM LOT WIDTH	- 100' @ SB
MINIMUM LOT DEPTH	- 150'
FRONT YARD SETBACK	- 35' -SINGLE FAMILY DWG., 50'-ALL OTHER BLDGS.
SIDE YARD SETBACK	- 20'
REAR YARD SETBACK	- 50'
MAXIMUM LOT COVERAGE	- 25%
MAXIMUM BUILDING COVERAGE	- 20%
MAXIMUM BUILDING HEIGHT	- 35'

	LOT No. 1 EXG / PROP	LOT No. 2 EXG / PROP
NUMBER OF PRINCIPAL UNITS	1 / 1	1 / 1
USE OF LAND	RES/ RES	RES/ RES
DENSITY	0.170 / 0.200	0.105 / 0.097
MINIMUM LOT WIDTH	685.67' / 685.67'	355.69' / 440.02'
MINIMUM LOT DEPTH	229.56' / 201.76'	1105.51' / 1126.92'
MAXIMUM BUILDING COVERAGE	4.55% / 5.35%	1.13% / 1.04%
MAXIMUM IMPERVIOUS COVERAGE	12.19% / 10.40%	4.58% / 5.11%

AT A MEETING ON \_\_\_\_\_, 20\_\_\_\_, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE COMMISSION IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO. \_\_\_\_\_ BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT.

THIS PLAN, BEARING LPCP FILE NO. \_\_\_\_\_, WAS REVIEWED BY STAFF OF THE LANCASTER COUNTY PLANNING DEPARTMENT ON \_\_\_\_\_, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247, OF 1968, AS AMENDED. THIS CERTIFICATE DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT.

**Gordon L. Brown & Associates, Inc.**  
**Civil Engineers & Surveyors**

**Don L. Brown & Associates  
Engineers & Surveyors**  
South Queen Street  
York, PA 17402-4631  
(717) 741-4621

2586 Lititz Pike  
Lancaster, PA 17601  
(717)569-0528

**Strausser**  
Surveying and  
Engineering, Inc.

# COVER SHEET FOR

**JACOB B. HUYARD**

**MOUNT JOY TOWNSHIP  
LANCASTER COUNTY, PENNSYLVANIA**

CHECKED BY:

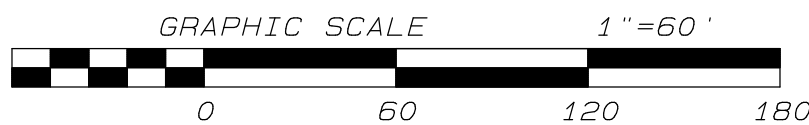
DRAWN BY:  
J. A. F.

DATE:  
APRIL 22, 2025

DRAWING No  
24.18998

**SHEET**

**1** OF 2



**LOT No. 2 PRIOR - 9.422 ACRES  
PARCEL "A" - 0.880 ACRES  
PARCEL "A" AND LOT No. 2  
COMBINED - 10.302 ACRES  
(10.000 ACRES TO R/W)**

### CURVE TABLE

[illegible]

CHECKED BY:  
DRAWN BY:  
J. A. F.  
DATE:  
APRIL 22, 2025  
DRAWING No.:  
24.18998  
**SHEET**

***SHEET***

2 OF 2

**Gordon L. Brown & Associates, Inc.**  
**Civil Engineers & Surveyors**

South Queen Street  
York, PA 17402-4631

2586 Lititz Pike  
Lancaster, PA 17601  
(717)569-0528

**Strausser**  
Surveying and  
Engineering, Inc.

REVISIONS

DATE:	BY:
-------	-----

7.28.25	J. A. F.	REVISED AS PER TOWNSHIP REVIEW.
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ANTHONY P. SCHIMANECK  
JOSELE CLEARY  
ROBERT E. SISKI  
JASON M. HESS

LAW OFFICES  
**MORGAN, HALLGREN, CROSSWELL & KANE, P.C.**

P. O. BOX 4686  
LANCASTER, PENNSYLVANIA 17604-4686

[WWW.MHCK.COM](http://WWW.MHCK.COM)

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GEORGE J. MORGAN  
(1971 - 2021)

RETIRED  
CARL R. HALLGREN  
MICHAEL P. KANE

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LANCASTER, PA 17602  
717-299-5251

1536 W MAIN STREET  
EPHRATA, PA 17522  
717-733-2313

659 E WILLOW STREET  
ELIZABETHTOWN, PA 17022  
717-361-8524

OF COUNSEL  
WILLIAM C. CROSSWELL  
RANDALL K. MILLER

June 20, 2025

**VIA EMAIL**

Kimberly Kaufman, Township Manager  
Mount Joy Township  
8853 Elizabethtown Road  
Elizabethtown, PA 17022

Re: Lot Add-On Plan for Jacob B. Huyard  
Our File No. 10221-1

Dear Kim:

I have reviewed the Lot Add-On Plan for Jacob B. Huyard (the "Plan") prepared by Gordon L. Brown & Associates, Inc. The Plan proposes that the property of Jacob Huyard and Ruth Huyard identified as 1835 Rissermill Road (the "Huyard Lot") will be increased by 0.88 acre to result in a new lot containing 10.3 gross acres and 10.0 net acres. The adjoining lot held by Arthur Auker identified as 1501 Valley View Road (the "Auker Lot") will be decreased by that amount and will result in a lot containing approximately five acres. This letter will set forth comments on the Plan.

Both properties are located within the Rural District and are provided with on-lot sewage disposal. The Plan indicates a tested replacement location on the Auker Lot. It does not include a tested location on the Huyard Lot. Section 100-58.A of the Code of Ordinances requires that any person filing an application for subdivision or land development approval must demonstrate that a suitable area exists on the existing lot or on each lot to be created for an initial and a replacement on-lot sewage disposal system. The Huyard Lot was created in its existing configuration by the Lot Line Change Plan for Carol L. Dalkiewicz recorded at Document No. 2014-0013-J (the "2014 Plan"). The 2014 Plan does not indicate a tested replacement location.

Note 22 of the 2014 Plan states:

By recording this plan landowners Carol L. Dalkiewicz and Thomas M. Dalkiewicz hereby irrevocably dedicate right-of-way along all frontages of Rissermill Road so that the right-of-way shall be 25 from the centerline at all points along the frontages of Lot 1 and Lot 1A. Landowners, for themselves and their personal representatives, heirs, successors and assigns, agree that by the recording of this plan the landowners shall, if requested by the Township in the future, execute any

Kimberly Kaufman, Township Manager  
June 20, 2025  
Page 2

documents necessary to confirm the dedication of the additional right-of-way along Rissermill Road.

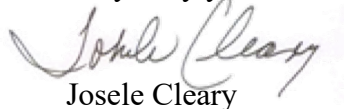
The Plan shows a line along the Rissermill Road frontage of the Huyard Lot identified as "Prop. 25' wide ultimate right of way". The Plan also contains Note 11 which states, "No areas are being proposed for dedication on this plan."

The Township should determine whether it desires to enforce Note 22 on the 2014 Plan or whether it will simply require a substantially identical note with the names of the landowners changed be placed on the Plan. The Township at a minimum should require a note substantially identical to the note on the 2014 Plan.

If the Township approves the Plan, I strongly recommend that it impose conditions requiring that a deed with a perimeter legal description for the Huyard Lot as enlarged and a deed with a perimeter legal description for the Auker Lot as reduced be recorded within 30 days from the release of the Plan for recording.

If you have any questions concerning any of these comments, please contact me.

Very truly yours,



Josele Cleary

JC:sle  
MUNI\10221-1(7)\250618\71

cc: Joseph Price, Community Development Director/Zoning Officer (via email)  
Patricia J. Bailey, Township Secretary (via email)  
Benjamin S. Craddock, P.E. (via email)  
Timothy S. Trostle, Project Manager (via email)

August 21, 2025

Kim Kaufman  
Township Manager  
Mount Joy Township  
8853 Elizabethtown Road  
Elizabethtown, PA 17022

Via email: kkaufman@mtjoytwp.org



**LANCASTER CIVIL**  
★ ★ engineering company ★ ★  
*p.o. box 8972, lancaster, pa 17604-8972*  
*www.lancastercivil.com*

Re: Jacob Huyard Lot-Line Change Plan  
Lot Add-On Plan  
Township Permit No. 25-09-LLCP  
LCEC Project No: 25-198

Dear Mr. Kaufman,

We have received a lot add-on plan submission from Gordon L. Brown & Associates for the above-referenced project. The submission consisted of the following documents (received June 18, 2025):

- Comment response letter dated July 25, 2025
- Lot Add-On Plan revised July 28, 2025
- Modification Request letter dated August 15, 2025

Based upon my review of the submitted information, I offer the following comments for the Township to consider:

**Zoning Ordinance**

1. The number of lots which may be created from a parent tract in the Agricultural District is limited by Section 135-85.B of the Zoning Ordinance based upon the size of the parent tract. The following items shall be addressed with regards to this requirement:
  - a. Note 16 on the Cover Sheet shall be revised to clearly state that Lot 1 has no remaining subdivision rights or right to erect a single-family dwelling or other principal nonagricultural buildings.
  - b. Note 17 shall be provide a reference to the 2014 lot add-on plan recorded at Instrument # 2014-0013-J. This note shall also clearly state that Lot 2 has no remaining subdivision rights or right to erect a single-family dwelling or other principal nonagricultural buildings.
  - c. Since this plan does not involve properties being used primarily for agricultural purposes, this plan will require a right of subdivision in order to proceed. Since neither lot has any remaining subdivision rights, a variance from the Zoning Hearing Board will be required.
  - d. The fact that neither lot has any remaining subdivision or erection of single-family dwellings or other principal nonagricultural buildings shall also be included in the deeds for each lot.



2. The existing dwelling, barn, and building on Lot No. 1 are within the front yard setback. These are existing non-conformities (135-85.F). Note 15 on the Cover Sheet shall be corrected to include reference to the "front yard setback" (alternatively, the note could be removed from the plans).
3. The wetlands shall be shown on the plan and a 25 foot buffer surrounding the wetlands boundary shall be conserved (135-307.B). The applicant shall enter into a recordable agreement with the Township providing for the permanent maintenance of the wetland area, in a form acceptable to the Township Solicitor (135-307.E).

### **Subdivision Ordinance**

4. The plans shall be signed by a registered engineer, surveyor or landscape architect (119-31.A(5)).
5. The source of title for Lot No. 1 shall be corrected (119-31.B(10)).
6. The plan shall identify the parent tract and all prior subdivisions from the parent tract which have been recorded (119-31.B(13)).
7. Bearings and distances shall be provided for the existing right-of-way for Lot No. 2 (119-31.D(4)).
8. All certificates shall be executed prior to final plan approval (119-35.E).
9. Legal descriptions for the right-of-way proposed for dedication to Mount Joy Township shall be provided (119-35.E(4)(b)).
10. A copy of the deed with the perimeter description of Lot No. 2 shall be provided prior to the final release of financial security (119-35.E(4)(g)).
11. A construction cost estimate and financial security shall be provided (119-41). The cost estimate shall include the costs for setting the proposed lot markers and monuments. If the proposed lot markers and monuments are set prior to the recording of the plan, and the plan is revised to include the set markers and monuments, then financial security would not need to be posted.
12. The frontage along Valley View Road and Risser Mill Road (local streets) shall be improved in accordance with 119-52.J or as indicated on the Township Official Map, whichever is greater. The existing cartways are shown as 22 feet and 20 feet wide respectively; the required cartway width for a local street outside of the designated growth area is 20 feet with 2-foot paved shoulders (24 feet total) (119-52.J(3)(a)). The applicant has requested a waiver of this requirement.

Waiver response: The current plans propose only the relocation of lot lines; no improvements or development is proposed. Based on this consideration, I have no objection to a waiver of this requirement.

13. The language in Note 3 shall also be included in all deeds for lots which contain an easement. (119-56.B).
14. Conservation easements shall be provided surrounding the limits of wetlands as defined by Chapter 135, Zoning (119-56.H).
15. Three monuments shall be spaced around the proposed project, with at least two of the monuments places as consecutive corners along the street right-of-way (119-57.B). The proposed monuments shall be labeled on the plan or included in the legend.

16. The proposed lot line markers shall be labeled on the plan or included in the legend (119-57.D).

If you should have any questions or need additional information, please do not hesitate to contact me at [bencraddock@lancastercivil.com](mailto:bencraddock@lancastercivil.com) or via telephone at 717-799-8599.

Sincerely,

A handwritten signature in blue ink that reads "Benjamin S. Craddock".

Benjamin S. Craddock, PE, President

**LANCASTER CIVIL**

cc: Justin Evans, Assistant Zoning Officer (via email)  
Patricia Bailey, Township Secretary / Assistant Zoning Officer (via email)  
Josele Cleary, Esquire, Township Solicitor (via email)  
Renee Addleman, Planner, LCPC (via email)  
Jacob Huyard (via email)  
Timothy Trostle, Gordon L. Brown and Associates (via email)

**PROPOSED MOTION FOR THE LOT ADD-ON PLAN  
FOR JACOB B. HUYARD  
M.J.T.P.C. File # 25-09-LLCP**

I move that the Township Planning Commission grant waivers of Chapter 119 of the Code of Ordinances of the Township of Mount Joy, i.e. the Mount Joy Township Subdivision and Land Development Ordinance as follows:

a) §119-52.J(3)(a) – Improvement of Existing Streets

And having granted such waivers, grant approval of the Lot Add-On Plan for Jacob B. Huyard (the "Plan") prepared by Gordon L. Brown & Associates, Inc., Drawing No. 24.18998, dated April 22, 2025, subject to the following conditions:

1. To the extent not otherwise provided in these conditions, Applicant shall address the comments of the Township Engineer's review letter dated August 21, 2025.
2. To the extent not otherwise provided in these conditions, Applicant shall address the comments of the Township Solicitor's review letter dated June 20, 2025.
3. Applicant shall gain a variance from the Mount Joy Township Zoning Hearing Board (MJTZHB) regarding subdivision limitations set forth in §135-85.B of the Mount Joy Township Zoning Ordinance.
4. Applicant shall submit an agreement providing for the permanent maintenance of the wetland area designated on the plans acceptable to the Township Solicitor and in recordable form. The Agreement, fully executed, shall be submitted and approved prior to the release of the final plan for recording.
5. Applicant shall either 1) set the specified lot corner markers and/or monuments prior to the release of the final plan for recording, or 2) submit a fully executed Land Development Agreement and post financial security to guarantee the lot corner markers and/or monuments. The Agreement shall be acceptable to the Township Solicitor and in recordable form. The amount of said financial security shall be in the amount consistent with the construction cost opinion approved by the Township Engineer.
6. Applicant shall provide recorded copies of a deed with a perimeter legal description for the Huyard Lot as enlarged and a deed with a perimeter legal description for the Auken Lot as reduced within 30 days from the release of the Plan for recording.
7. Applicant shall reimburse the Township for all reasonable engineering and legal fees incurred in the review of plans under the Subdivision and Land Development Ordinance, Storm Water Management Ordinance, and other governing ordinances; review or preparation of documentation required in connection with the development; review and approval of financial security and other documentation; inspection of improvements; and for other costs as set forth in these Conditions within 30 days after receipt of an invoice for such fees. If Applicant fails to pay such costs within 30 days after the date of a written invoice for such costs, Applicant shall be in violation of this Condition.



[8/22/2025]

**ACCEPTANCE OF CONDITIONS UPON APPROVAL OF A  
LOT ADD-ON PLAN  
IMPOSED BY THE PLANNING COMMISSION OF MOUNT JOY TOWNSHIP  
FOR**

**JACOB B. HUYARD  
M.J.T.P.C. File # 25-09-LLCP**

I have reviewed the conditions imposed by the Planning Commission of Mount Joy Township, Lancaster County, Pennsylvania, at the meeting on August 25, 2025, upon the approval of the Lot Add-On Plan for Jacob B. Huyard (the "Plan") prepared by Gordon L. Brown & Associates, Inc., Drawing No. 24.18998, dated April 22, 2025. In my capacity as developer/developer's agent and being authorized to do so, and intending to be legally bound, I hereby accept the imposition of the conditions attached hereto as part of the approval of the above-described subdivision and/or land development project. I expressly waive any requirements of the Pennsylvania Municipalities Planning Code that the Township provide a section number of a governing ordinance, statute or regulation upon which such conditions are based and a description of the requirements which have not been met. To the extent that any condition is not based upon a specific requirement of a governing ordinance, statute or regulation, I expressly waive any right which I may have to challenge the imposition of such condition. If signing as developer's agent, I expressly state that I have been authorized by developer to agree to the conditions imposed upon the approval of the above-described subdivision and/or land development application.

Date: \_\_\_\_\_

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Title