## MINOR LAND DEVELOPMENT PLAN

# ELMER BEILER POULTRY BARN

MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

INDIVIDUAL ACKNOWLEDGEMENT COMMONWEALTH OF PENNSYLVANIA COUNTY OF LANCASTER

IFFOR LANCASTER

IFICATE OF OWNERSHIP AND ACKNOWLEDGEMENT OF PLAN

ON THIS, THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_, BEFORE ME, THE UNDERSIGNED OFFICER PERSONALLY APPEARED \_\_\_ CHRISTIAN K. & ELIZABETH K. STOLTZFUS \_\_\_ WHO, BEING DULY SWORN OR AFFIRMED' ACCORDING TO LAW, DEPOSES AND SAYS THAT HE IS THE \_\_\_\_\_ OF THE PROPERTY SHOWN ON THE PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS DIRECTION, THAT HE ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN, THAT HE DESIRES THE SAME TO BE RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXPECTING THOSE AREAS LABELED NOT FOR DEDICATION) ARE HEREBY DEDICATED TO THE PUBLIC USE

ELIZABETH K. STOLTZFUS

NOTARY PUBLIC

#### LANDOWNER STORMWATER MANAGEMENT ACKNOWLEDGME

I HEREBY ACKNOWLEDGE THAT, THE PROPOSED STORMWATER MANAGEMENT SYSTEM TO BE A PERMANENT FIXTURE THAT CAN ONLY BE ALTERED OR REMOVED AFTER APPROVAL OF A REVISED PLAN BY THE MUNICIPALITY.

OWNER OWNER

#### MOUNT JOY TOWNSHIP PLANNING COMMISSION FINAL PLAN APPROVAL

AT A MEETING ON \_\_\_\_\_\_, 20\_\_\_, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE COMMISSION IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO. \_\_\_\_\_\_, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT. \*

SIGNATURE OF THE CHAIRMAN OR THEIR DESIGNEE

SIGNATURE OF THE VICE CHAIRMAN OR THEIR DESIGNEE

### MOUNT JOY TOWNSHIP SWM SITE PLAN APPROVAL CERTIFICATION

ON \_\_\_\_\_\_, 20\_\_\_\_\_, \_\_\_\_\_APPROVED THIS PROJECT, AND ALL CONDITIONS HAVE BEEN MET. THIS APPROVAL INCLUDES THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE PERMIT APPLICATION NO. \_\_\_\_\_\_\_, BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 113, STORMWATER MANAGEMENT.

SIGNATURE OF THE ENFORCEMENT OFFICER

## LANCASTER COUNTY PLANNING DEPARTMENT REVIEW CERTIFICATE

THIS PLAN, BEARING LCPC FILE NO. \_\_\_\_\_, WAS REVIEWED BY STAFF OF THE LANCASTER COUNTY PLANNING DEPARTMENT ON \_\_\_\_\_, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247, OF 1968, AS AMENDED. THIS CERTIFICATE DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT.

SIGNATURE OF THE CHAIRPERSON OR THEIR DESIGNEE

### PROFESSIONAL ENGINEER CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE ENGINEERING DETAILS SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT AND ARE DESIGNED IN CONFORMANCE WITH THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND IN ACCORDANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA.

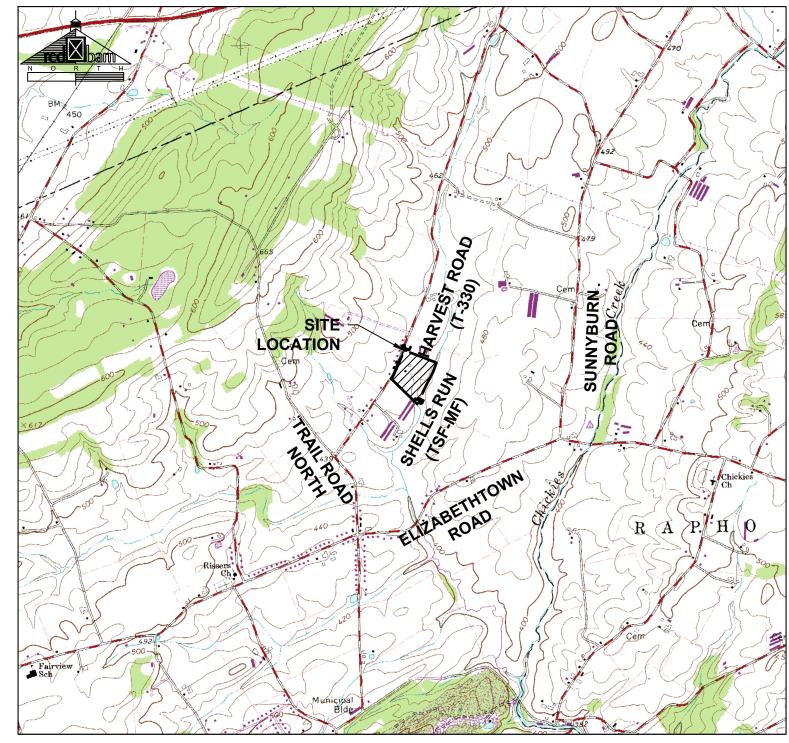
ENGINEER

UNDERLAIN GEOLOGY

I \_\_\_\_\_\_, CERTIFY THAT THE PROPOSED STORMWATER/BMP FACILITY IS NOT UNDERLAIN BY CARBONATE GEOLOGY.

ENGINEER

	DRAWING INDEX
101	COVER SHEET
102	EXISTING & PROPOSED SITE PLAN
103	SITE DISTANCE
201	PCSM PLAN: NOTES
202	PCSM PLAN: CONTROL GRADING PLAN
203	PCSM PLAN: CONTROL DETAILS 1
204	PCSM PLAN: CONTROL DETAILS 2
205	PCSM PLAN: PRE-DEVELOPMENT DRAINAGE AREA PLAN
206	PCSM PLAN: POST-DEVELOPMENT DRAINAGE AREA PLAN
301	E&S PLAN: COVER SHEET & NOTES
302	E&S PLAN: CONTROL GRADING PLAN
303	E&S PLAN: CONTROL DETAILS 1
304	E&S PLAN: SOILS AND DRAINAGE AREA PLAN
401	TRUCK ACCESS: TRUCK MOVEMENT PLAN



LOCATION MAP
SCALE: 1" = 2000'

ORDINANCE ARE REQUESTED:

# ONE - CALL SYSTEM ONE CALL SYSTEM ONE CALL SYSTEM INC.

Pennsylvania Act 121 (2008)
requires 3 working days notice
from excavators who are about to
Dig, Blast, Auger, Bore, Grade,
Trench or Demolish anywhere in
the Commonwealth.
Contractor Shall Place A One—Call
(1—800—242—1776) Prior to
Construction.

DESIGN SERIAL 20250502344

SECTION 119-25 - PRELIMINARY REVIEW PROCESS

STATUS: \_\_\_\_\_\_ DATE: \_\_\_\_\_\_

SECTION 119-31.D(14)(a) - GENERAL PLAN REQUIREMENTS

STATUS: \_\_\_\_\_ DATE: \_\_\_\_\_\_

SECTION 119-57.D - SURVEY MONUMENTS AND MARKERS

STATUS: \_\_\_\_\_ DATE: \_\_\_\_\_\_

SECTION 119-57.B - SURVEY MONUMENTS AND MARKERS

STATUS: \_\_\_\_\_ DATE: \_\_\_\_\_\_

SECTION 119-57.B - SURVEY MONUMENTS AND MARKERS

STATUS: \_\_\_\_\_ DATE: \_\_\_\_\_\_

EMERGENCY RESPONDERS NOTES

MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY (MESA)
1. ACCESS: MINIMAL VERTICAL CLEARANCE OF 12 FEET MUST BE MAINTAINED AT ALL TIMES ON ALL DRIVEWAYS.

NORTHWEST REGIONAL POLICE
1. NO CONCERNS INVOLVING THE PROJECT.

MASTERSONVILLE FIRE DEPARTMENT
1. NO RESPONSE AS OF 07/15/2025.

MODIFICATIONS AND WAIVERS REQUESTED

THE FOLLOWING MODIFICATIONS OF THE SUBDIVISION AND LAND DEVELOPMENT

PRIOR PLAN IDENTIFICATION - SECTION 119-31.B(14)

PRIOR PLANS ARE IDENTIFIED WITH PROPERTY IDENTIFICATION LABELS ON SHEET 102
FOR EACH PARCEL. NOTES OR RESTRICTIONS AFFECTING THE CURRENT
DEVELOPMENT WERE NOT FOUND.

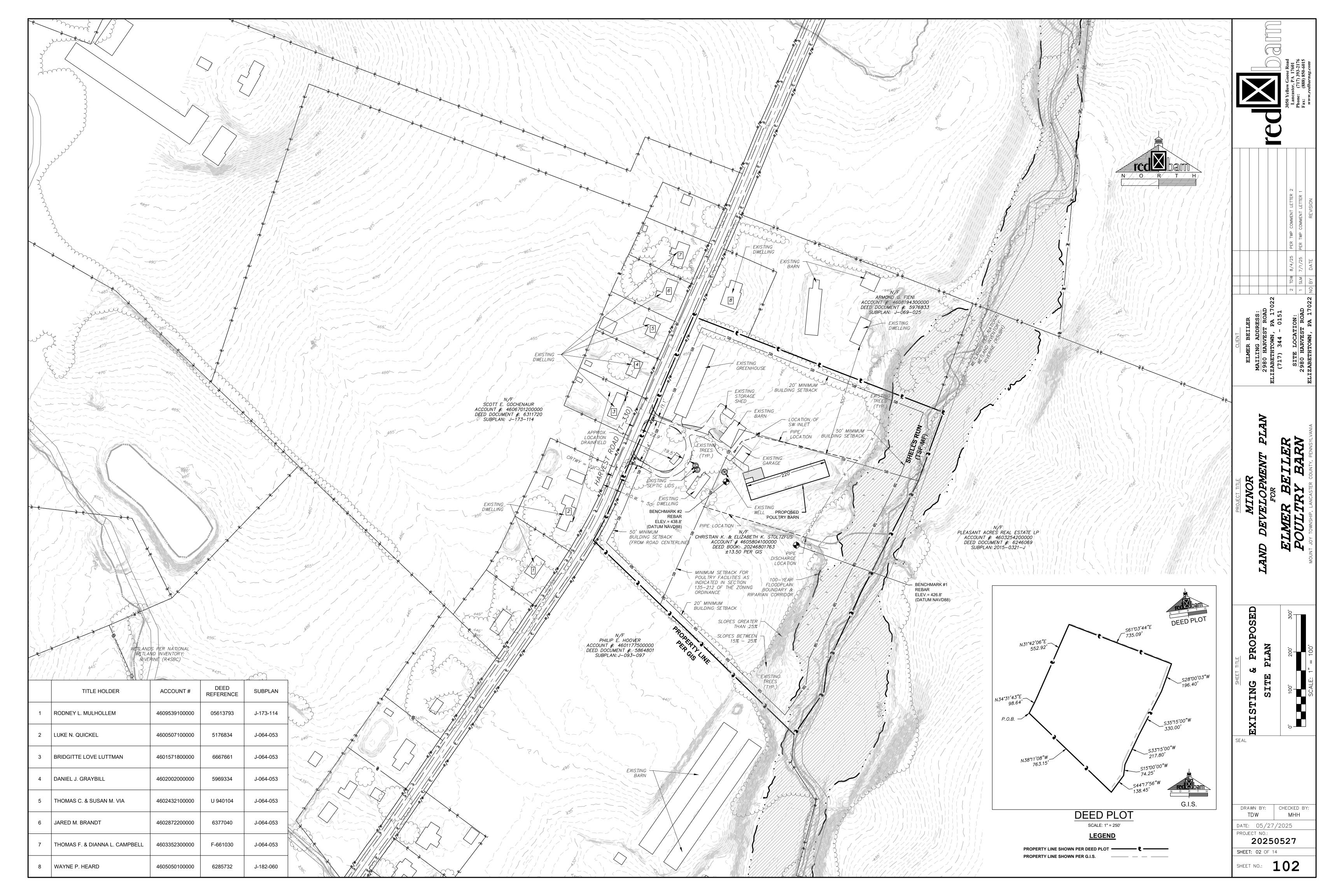
THE IDENTIFIED PRIOR PLANS ARE COMPLETE AND CORRECT.

PROFESSIONAL

STORMWATER PLAN RECORDING - SECTION 113-58.C

FOLLOWING APPROVAL OF THE AS-BUILT PLAN BY THE TOWNSHIP ENGINEER, THE APPLICANT SHALL SUBMIT THE SWM SITE PLAN FOR RECORDATION IN THE OFFICE OF THE RECORDER OF DEEDS.

PLANNING INFORMATION  PLANNING PROVIDED BY:		E OF PLAN	N/ITLI	EXISTING FEA	TURES LEGEND	7	
RED BARN CONSULTING, INC. 3050 YELLOW GOOSE ROAD LANCASTER, PA 17601	THE APPLICANT PROPOSES TO CONSTRUCT A NEW POULTRY BARN ALONG WITH DRIVEWAY IMPROVEMENTS. THE NEW IMPERVIOUS AREA WILL BE MAINTAINED BY TWO SEEPAGE BEDS. BOTH SEEPAGE BEDS WILL CAPTURE RUNOFF FROM THE BARN AND ANY NEARBY DRIVEWAY AREA. NEW DRIVEWAY IMPROVEMENTS ARE PROPOSED NEAR			ADJOINER PROPERTY LINE PROPERTY LINE			
717-393-2176	THE ENTRANCE TO HELP WITH TRUCK TURNING.			RIGHT-OF-WAY SETBACK LINE		Road '601 -2176 -6015	
SURVEY INFORMATION  TOPOGRAPHY PROVIDED BY:	OWNER  CHRISTIAN K. & ELIZABETH K. STOLTZFUS			EASEMENT LINE MUNICIPAL BOUNDARY		V Goose , PA 17 717) 393	
RED BARN CONSULTING, INC. 3050 YELLOW GOOSE ROAD LANCASTER, PA 17601	SITE ADDRESS: 2980 HARVEST ROAD	MAILING ADDRESS: 3655 HARVEST ROAD			ZONING BOUNDARY SOIL BOUNDARY		0 Yellow ancaster one: (7
A PROPERTY BOUNDARY SURVEY HAS NOT BEEN PERFORMED. THE PROPERTY	ELIZABETHTOWN, PA 17022 PHONE #:(717) 344 - 0151	ELIZABETHTOWN, PA 170 PHONE#:(717) 344 - 015			ROAD CENTERLINE EDGE OF PAVEMENT		3050 La Pho Fax
BOUNDARY HAS BEEN SHOWN PER LANCASTER COUNTY GIS DATA.	ELME	LICANT  R BEILER  ADDRESS:		×××	EDGE OF DRIVEWAY/FIELD LANE FENCE		
CLEAR SIGHT TRIANGLE  THERE SHALL BE PROVIDED AND MAINTAINED AT ALL INTERSECTIONS A CLEAR SIGHT TRIANGLE. NO STRUCTURES, LANDSCAPING OR GRADING MAY BE CONSTRUCTED.	2980 HAF ELIZABETHT	7 ADDRESS. RVEST ROAD TOWN, PA 17022 717) 344 - 0151			BUILDING CONCRETE		
INSTALLED OR PERFORMED WITHIN THE AREA OF THE CLEAR SIGHT TRIANGLE WHICH WOULD OBSCURE THE VISION OF MOTORISTS.	SOURC	OF TITLE			CONCRETE WALL EDGE OF WOODS		
STORMWATER MANAGEMENT AND DRAINAGE EASEMENT		NSHIP ORDINANCES			RAIL ROAD MINOR CONTOUR		
NO AREA IS OFFERED FOR DEDICATION TO THE PUBLIC. THE TOWNSHIP IS NOT RESPONSIBLE FOR MAINTENANCE OF ANY AREA NOT DEDICATED TO AND ACCEPTED FOR PUBLIC USE.	2. SUBDIVISION AND LAND DEVELO	1. ZONING - ADOPTED DATE: (11/20/1990, AMENDED 07/21/2015) 2. SUBDIVISION AND LAND DEVELOPMENT - ADOPTED DATE: (2/15/2000) 3. STORMWATER MANAGEMENT - ADOPTED DATE: (6/17/2014)			MAJOR CONTOUR TERRACE		2 _
MUNICIPAL AND COUNTY OFFICIALS AND THEIR AGENTS OR EMPLOYEES SHALL HAVE ACCESS TO ANY AND ALL DRAINAGE EASEMENTS AND/OR DRAINAGE FACILITIES AND SHALL HAVE THE RIGHT AT THEIR DISCRETION TO MAINTAIN OR REPAIR THE FACILITIES		IG / SETBACK DATA  AGRICULTURAL DISTRICT	- (^)		TERRACE TO BE REMOVED  OVERHEAD ELECTRICAL LINE  UNDERGROUND ELECTRIC LINE		COMMENT LETTER
AS NECESSARY TO RESTORE THEM TO THE DESIGN CONDITIONS.  A MINIMUM THIRTY (30) FOOT WIDE ACCESS EASEMENT SHALL BE PROVIDED AROUND ALL STORMWATER MANAGEMENT FACILITIES THAT WOULD PROVIDE INGRESS FROM	ZONING MINIMUM LOT AREA	25 ACRES - SECTION 135-85		s	SANITARY SEWER PIPE STORMWATER PIPE / CULVERT		COMMENT
AND EGRESS TO A PUBLIC RIGHT-OF-WAY.  NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF AN	MINIMUM LOT WIDTH MINIMUM LOT DEPTH	100 FEET - SECTION 135-8 150 FEET - SECTION 135-8		w	WATER LINE WETLANDS BOUNDARY		TWP
EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE THE EASEMENT AGREEMENT.  NO EXISTING RECORDED STORM WATER MANAGEMENT AGREEMENTS AFFECTING THE	FRONT YARD SIDE YARD	50 FEET - SECTION 135-8 20 FEET - SECTION 135-8		और और और	WETLANDS HATCH		PER
SUBJECT PROPERTY HAVE BEEN IDENTIFIED RESEARCH.	REAR YARD  MANURE STORAGE SETBACK	50 FEET - SECTION 135-8 200 FEET - ACT 38			STREAM CENTERLINE FLOODPLAIN BOUNDARY		8/4/25
GEOLOGY  THE SITE IS NOT UNDERLAIN WITH KARST GEOLOGY. PER eMAP, THE SITE GEOLOGY	MAXIMUM HEIGHT (ACCESSORY BUILDINGS	35 FEET - SECTION 135-8	5.A.		FLOODPLAIN HATCH		TDW SLM
CONTAINS THE (Tm) NEW OXFORD FORMATION CONTAINING: LITH 1 = ARKOSIC SANDSTONE; LITH 2 = SHALE; LITH 3 = MUDSTONE; SANDSTONE	MAXIMUM BUILDING COVERAGE  MAXIMUM IMPERVIOUS COVERAGE	20%			VEGETATED WATERWAY SLOPES 15% TO 25%	80	
STREAM CLASSIFICATION	PER 135-212. AGRICULTURAL FACILITES A. POULTRY FACILITIES				SLOPES GREATER THAN 25%	S: DAD 1702	.51    
THE SITE HAS A STREAM ON SITE AND DRAINS TO SHELLS RUN, WHICH IS CLASSIFIED AS A TROUT STOCKING FISHERY WITH A MIGRATORY FISH DESIGNATION (TSF-MF).	(1) POULTRY HOUSES SHALL NOT BE LOC EXISTING DWELLING UNITS OTHER THAN T CONDUCTING THE POULTRY FACILITY. A PI	HE DWELLING UNIT OWNED BY THE	PERSON	BENCHMARK  PROPERTY MARKER	W WELL	ENTBEILER ADDRES //EST_RC	SITE LOCATION: 980 HARVEST ROAD
NATURAL TROUT REPRODUCTION	SHALL BE PROVIDED IN ORDER THAT VEHI ONTO THE ROADWAY FRONT FIRST.	CLES LEAVING THE PROPERTY CAN			TP# SOIL TEST LOCATION		344 LOCA ARVE
THE SHELLS RUN IS NOT CLASSIFIED AS A WILD TROUT STREAM SUSTAINING NATURAL REPRODUCTION.  FLOODPLAIN INFORMATION	PER 135-85.C. (3) - LOT AREA REQUIREMEN THE MINIMUM LOT SIZE FOR ANY AGRICUL HOWEVER, THAT ANY AGRICULTURAL USE	TURAL USE SHALL BE 25 ACRES, PR THAT HAS BEEN LAWFULLY ESTABL	ISHED AS	STORM RISER PIPE	SOIL PERCOLATION TEST LOCATION	ELMER LILING 80 HAF	717) SITE 80 H
THE 100-YEAR FLOOD PLAIN IS TAKEN FROM FEMA FIRM (FLOOD INSURANCE RATE MAP), COMMUNITY-PANEL 42071C0109F (04/05/2016)	OF THE EFFECTIVE DATE OF THIS CHAPTE AUTHORIZED TO CONTINUE AS A USE PER BY RIGHT, PROVIDED SUCH EXPANSION W THIS CHAPTER	MITTED BY RÍGHT AND MAY EXPAND	THE USE	PROPOSED FEA	ATURES LEGEND	MZ 29	7) 8
HYDRIC SOILS ON SITE PER NRCS WSS	SITE	E DATA			NPDES PERMIT BOUNDARY/ LIMIT OF DISTURBANCE BOUNDARY LINE COMPOST FILTER SOCK	H	
AbB - ABBOTTSTOWN SILT LOAM, 3-8% SLOPES Rd - ROWLAND SILT LOAM	PROPOSED USE	AGRICULTURAL / RESIDEN' AGRICULTURAL	ΓIAL		CENTERLINE MAJOR CONTOUR		
WETLANDS	ACCESSORY USE  NUMBER OF LOTS	NONE 1		353'	MINOR CONTOUR EASEMENT	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	
PER THE WETLAND MAPPER, AND ON-SITE INSPECTION BY MOLLY H. HUGHES ME. PE OF RED BARN CONSULTING, INC. OF THE PROJECT BOUNDARY, NO WETLANDS ARE PRESENT WITHIN THE PROJECT BOUNDARY.	UNIT OF OCCUPANCY UNIT OF OCCUPANCY DENSITY	1 (SINGLE FAMILY, DETACH	ED)		FENCE TERRACE	] 	X X
CONTRACTOR CERTIFICATE NOTE  UPON COMPLETION OF CONSTRUCTION, THE EXCAVATION CONTRACTOR SHALL	GROSS LOT AREA  NET LOT AREA	13.50 ACRES (PER ASSESSMENT 13.10 ACRES (PER GIS)		——————————————————————————————————————	OVERHEAD ELECTRIC LINE UNDERGROUND ELECTRIC LINE		河风
PROVIDE THE TOWNSHIP WITH A LETTER CERTIFYING THAT THE INFILTRATION BED CONSTRUCTED ACCORDING TO THE APPROVED PLAN AND THAT THE BED AREA WAS PROTECTED FROM COMPACTION AND SEDIMENTATION THROUGHOUT THE COURSE OF	EXISTING BUILDING COVERAGE (%)  EXISTING IMPERVIOUS COVERAGE (%)	2.21% 4.64%		8" S —	8" SANITARY SEWER PIPE LINE 10" SANITARY SEWER PIPE LINE	EN.	II BA
CONSTRUCTION.  MAXIMUM EARTH DISTURBANCE NOTE	PROPOSED BUILDING COVERAGE (%) PROPOSED IMPERVIOUS COVERAGE (%)	3.93%			STORMWATER LINE WATER LINE	OR PM	K B E
THE MAXIMUM EARTH DISTURBANCE PROPOSED BY THIS PROJECT IS LESS THAN 1 ACRE, AND THEREFORE AN NPDES PERMIT IS NOT REQUIRED. AND NPDES PERMIT IS REQUIRED FOR ALL STORMWATER DISCHARGES FROM EARTH DISTURBANCE	EXISTING IMPERVIOUS AREA (SQ. FT.)	NEW IMPERVIOUS AR	EA	• c.o. CLEANOUT  • STORM STRUCTURE	GUTTER  • D.S. DOWNSPOUT	PROJECT TILE MINOR ELOPM FOR	
ACTIVITIES INVOLVING EQUAL OR GREATER THAN ONE ACRE OF DISTURBANCE. ANY EARTH DISTURBANCE AT THIS SITE OUTSIDE THE LIMITS OF DISTURBANCE AS ILLUSTRATED ON THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND EQUAL	EXISTING BUILDINGS 13008	NEW BUILDINGS	10120	STORM STRUCTURE  RIP RAP APRON	<ul><li>SEWER MANHOLE</li><li>SEPTIC MANHOLE</li></ul>		IEK 71.1
TO OR GREATER THAN ONE ACRE WILL BE IN VIOLATION OF 25 PA A CODE 102.5 UNLESS AN NPDES PERMIT HAS BEEN AUTHORIZED.	EXISTING GRAVEL/ DRIVEWAYS 11577	NEW GRAVEL/ DRIVEWAYS	2840	₩ELL	TREE		Z D
AGRICULTURAL NUISANCE DISCLAIMER  ALL LANDS WITHIN THE AGRICULTURAL ZONING DISTRICT ARE LOCATED WITHIN AN AREA WHERE LAND IS USED FOR COMMERCIAL AGRICULTURAL PRODUCTION.	EXISTING CONCRETE 2688  OTHER EXISTING	NEW CONCRETE OTHER NEW IMPERVIOUS	264		WATER HATCH CONCRETE HATCH	ND	ELM POU
OWNERS, RESIDENTS, AND OTHER USERS OF ANY PORTION OF THIS PROPERTY MAY BE SUBJECTED TO INCONVENIENCE, DISCOMFORT AND THE POSSIBILITY OF INJURY TO PROPERTY AND HEALTH ARISING FROM NORMAL AND ACCEPTED AGRICULTURAL	IMPERVIOUS AREAS  TOTAL IMPERVIOUS AREA  27272	AREAS TOTAL PROPOSED IMPERVIOUS	13224		GRAVEL HATCH	AN	
PRACTICES AND OPERATIONS INCLUDING BUT NOT LIMITED TO NOISE, ODORS, DUST, THE OPERATION OF MACHINERY OF ANY KIND INCLUDING AIRCRAFT, THE STORAGE AND DISPOSAL OF MANURE, THE APPLICATION OF FERTILIZERS, SOIL AMENDMENTS,	(SQ. FT.) 21213 LOT SIZE (SQ. FT.) 588060	AREA (SQ.FT.)  LOT SIZE (SQ. FT.)	588060		RIP-RAP LINING TOPSOIL AMENDMENT/	7	
HERBICIDES AND PESTICIDES. OWNERS, OCCUPANTS, AND USERS OF ANY PORTION OF THIS PROPERTY SHOULD BE PREPARED TO ACCEPT THESE CONDITIONS (SUCH INCONVENIENCES, DISCOMFORT, AND POSSIBILITY OF INJURY FROM NORMAL		TOR NOTES	<u> </u>	\(\frac{1}{2}\)	AVOID SOIL COMPACTION TEMPORARY/PERMANENT SEEDING		
AGRICULTURAL OPERATIONS) AND ARE HEREBY PUT ON OFFICIAL NOTICE THAT SECTION 4 OF THE PENNSYLVANIA ACT 133 OF 1982 "THE RIGHT TO FARM LAW" MAY BAR THEM FROM OBTAINING A LEGAL JUDGEMENT AGAINST SUCH NORMAL	THE CONTRACTOR SHALL BE RESPONS     REQUIRED FOR THE CONSTRUCTION PROP	POSED ON THIS PLAN.		+ + + + + + + + + +	RE-VEGETATED CROPLAND		
AGRICULTURAL OPERATIONS.  CLEAN AND GREEN	2. THE CONTRACTOR SHALL BE RESPONS BARRICADING, COVERING, SHEETING AND APPLICABLE FEDERAL, STATE AND LOCAL	SHORING, IN ACCORDANCE WITH	RENCH		VEGETATED WATERWAY TOPSOIL STOCKPILE		
NOTICE: ACCORDING TO COUNTY RECORDS, THE SUBJECT PROPERTY MAY BE SUBJECT TO THE PENNSYLVANIA FARMLAND AND FOREST LAND ASSESSMENT ACT OF 1974 (A.K.A. THE CLEAN AND GREEN ACT), ACT 319 OF 1974, P.L. 973; 72 P.S. § 5490.1, AS	3. UNDERGROUND UTILITIES HAVE NOT BE PRIOR TO CONSTRUCTION, EXCAVATION, ON THESE UTILITIES HAVE NOT BEEN FIELD VE	OR BLASTING. THE ACTUAL LOCATION	ONS OF		NAG S75 EROSION CONTROL BLANKET	   日	
AMENDED, AND AS FURTHER AMENDED BY ACT 156 OF 1998, AS AMENDED. THESE ACTS PROVIDE FOR PREFERENTIAL PROPERTY TAX ASSESSMENT AND TREATMENT. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO BE AWARE OF THE LAWS, RULES AND	NOT MAKE ANY REPRESENTATION, WARRA UNDERGROUND UTILITY INFORMATION RE AND ACCURATE. RED BARN CONSULTING,	NTY, ASSURANCE OR GUARANTEE FLECTED ON THESE DRAWINGS IS (	THAT THE CORRECT		NAG S150 EROSION CONTROL BLANKET	HERE	
REGULATIONS APPLICABLE TO HIS OR HER PROPERTY, INCLUDING THE PROVISION THAT: A) PREFERENTIAL PROPERTY TAX ASSESSMENT AND TREATMENT WILL REMAIN IN EFFECT CONTINUOUSLY UNTIL THE LANDOWNER CHANGES THE AGRICULTURAL USE	DAMAGE INCURRED AS A RESULT OF UNDE INACCURATELY SHOWN.		101171111		NAG P300 EROSION CONTROL BLANKET		
FROM THE APPROVED CATEGORY, OR IF A TRANSFER, SPLIT-OFF OR SEPARATION OF THE SUBJECT LAND OCCURS; B) IF A CHANGE IN USE OCCURS, OR IF A CONVEYANCE, TRANSFER, SEPARATION, SPLIT-OFF OR SUBDIVISION OF THE SUBJECT LAND OCCURS,	4. THE CONTRACTOR SHALL TAKE ALL NECEXISTING UTILITIES AND TO MAINTAIN UNIDUE TO THE CONTRACTOR'S NEGLIGENCE	ITERRUPTED SERVICE. ANY DAMAG	SE DONE		ROCK CONSTRUCTION ENTRANCE	AE AE	
THE PROPERTY OWNER WILL BE RESPONSIBLE FOR NOTIFYING THE COUNTY ASSESSOR WITHIN 30 DAYS; C) THE PAYMENT OF ROLL-BACK TAXES, PLUS INTEREST, FOR THE PERIOD OF ENROLLMENT, OR A PERIOD NOT TO EXCEED SEVEN YEARS,	REPAIRED AT THE CONTRACTOR'S EXPENS  5. THE CONTRACTOR SHALL LEGALLY DISI	SE.		STANDARD PLA	N ABBREVIATIONS		
WHICHEVER IS LESS, MAY BE REQUIRED; D) IF THE PROPERTY OWNER FAILS TO NOTIFY THE COUNTY ASSESSOR WITHIN THE THIRTY-DAY PERIOD, PRIOR TO LAND CONVEYANCE. THE PROPERTY OWNER MAY BE SUBJECT TO A CIVIL PENALTY OF \$100:		ATERIALS AS REQUIRED FOR THE		BC BOTTOM OF CURB ELEVATION BLDG BUILDING	LP LOW POINT MAX. MAXIMUM		
E) IF THE PROPERTY OWNER FAILS TO PAY THE ROLL-BACK TAX, A MUNICIPAL LIEN COULD BE PLACED ON THE PROPERTY UNDER EXISTING DELINQUENT TAX LAW.	6. THE CONTRACTOR SHALL ENSURE POS  7. ALL CONVEYANCE PIPING SHALL HAVE A		JILDINGS.	BMP BEST MANAGEMENT PRACTICE BOMHE BOTTOM OF MANHOLE ELEVATION	MIN. MINIMUM N MH MANHOLE		
TOWNSHIP INSPECTION NOTE  THE TOWNSHIP SHALL HAVE THE RIGHT OF ENTRY FOR THE PURPOSES OF INSPECTION  ALL STORMWATER CONVEYANCE TREATMENT OF STORAGE FACILITIES	THE CONTRACTOR SHALL COORDINATE EXTENSIONS/TERMINATIONS WITH THE UT			BW BOTTOM OF WALL ELEVATION C.O. CLEANOUT	NAG NORTH AMERICAN GREEN PERF. PERFORATED	SEAL	
ALL STORMWATER CONVEYANCE, TREATMENT, OR STORAGE FACILITIES.  MINIMUM PARKING REQUIREMENTS	9. THE CONTRACTOR IS RESPONSIBLE FOR DRAWINGS" AS REQUIRED BY THE VARIOU	R ALL FIELD TESTING AND "RECORD		CONC. CONCRETE CORR. CORRUGATED	PSI POUNDS PER SQUARE INCH PVC POLYVINYL CHLORIDE		
2 PARKING SPACES ARE PROVIDED TO MEET THE REQUIREMENT FOR A SINGLE FAMILY DWELLING IN THE AGRICULTURAL ZONE.	10. THE CONTRACTOR SHALL NOTIFY THE ADAYS PRIOR TO THE COMMENCEMENT OF	APPROPRIATE AUTHORITIES AT LEA	ST 10	D.S. DOWNSPOUT ELEV. ELEVATION	SCH. SCHEDULE SGE SUBGRADE ELEVATION		
PARENT TRACT IDENTIFICATION  PRIOR SUBDIVISION PLANS WERE FOUND FOR THE ADJOINING PARCELS; HOWEVER, A SUBDIVISION PLAN FOR THE SUBJECT LOT COULD NOT BE FOUND IN DEED RESEARCH	11. THE CONTRACTOR SHALL CALL PA ONE			EX. EXISTING  FFE FINISHED FLOOR ELEVATION	SDR STANDARD DIAMETER RATIO SLCPP SMOOTH-LINED CORR. PLASTIC PIP	PE	
AT LANCASTER COUNTY RECORDER OF DEEDS ONLINE SEARCH. THE ADDRESS 3028 HARVEST RD, OWNER ARMOND G. FIENI, DEED NUMBER 5976833, IS BELIEVED TO BE THE PARENT TRACT.	12. IF SINKHOLES ARE ENCOUNTERED DUF REGISTERED GEOLOGIST SHALL BE OBTAI CONSTRUCTION TECHNIQUES AND PERMA	NED TO ASSIST IN RECOMMENDING NENT FACILITIES NECESSARY TO A	/OID	HDPE HIGH DENSITY POLYETHYLENE HP HIGH POINT	TC TOP OF CURB ELEVATION  TE TOP ELEVATION  TOWNER TOP OF MANUAL ESTIMATION	DRAWN BY:	CHECKED B
EXPECTED PROJECT SCHEDULE	FURTHER SINKHOLE CREATION AND WITH SINKHOLES.	REGARD TO THE REPAIR OF ANY EX	ISTING	INV. IN INVERT ELEVATION  INV. OUT INVERT OUT ELEVATION	TOMHE TOP OF MANHOLE ELEVATION  TOW TOP OF WALL ELEVATION  TYP TYPICAL	TDW DATE: 05/27	MHH 7/2025
START OF CONSTRUCTION: FALL 2025 END OF CONSTRUCTION: SPRING 2026  AS-BUILT RECORD PLANS	-			INT. INTERSECTION  LF LINEAR FEET	TYP. TYPICAL W/ WITH	PROJECT NO.:	0527
AFTER COMPLETION OF THE REQUIRED IMPROVEMENTS AND PRIOR TO RELEASE OF THE FINAL ESCROW, THE OWNER SHALL SUBMIT AND OBTAIN TOWNSHIP ENGINEER APPROVAL OF THE	-					SHEET: 01 OF 1	
AS-BUILT PLAN FOR THE STORMWATER MANAGEMENT FACILITIES.						SHEET NO.:	101
AS-BUILT PLAN FOR THE STORMWATER MANAGEMENT FACILITIES.						SHEET NO.:	101

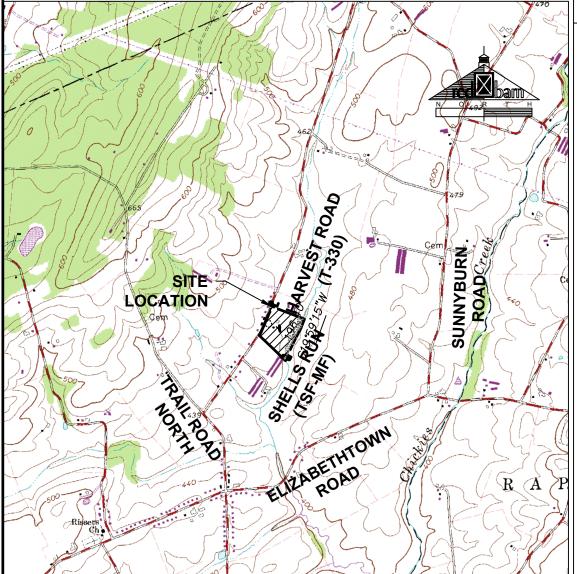




## PCSM PLAN **ELMER BEILER**

**POULTRY BARN** 

MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA



SCALE: 1" = 2000' (USGS QUAD ELIZABETHTOWN, PA QUADRANGLE)

PROJECT WASTE AND RECYCLING NOTES

CUT/FILL IS ASSUMED TO BE BALANCED, EXCESS TOPSOIL WILL BE DISTRIBUTED IN SWALES

**LOCATION MAP** 

ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER

ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR ISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT. EGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1., AND 287.1 ET SEQ. NO BUILDING MATERIAL R WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR ISCHARGED AT THE SITE. ANTICIPATED CONSTRUCTION WASTE MATERIALS WILL BE WOOD PLASTIC AND METAL - ANTICIPATED PCSM WASTES WILL BE GRASS CUTTINGS AND SEDIMENT GRASS CUTTINGS MAY BE ALLOWED TO DRY TO BE BALED FOR LIVESTOCK FEED AND/OR EDDING. DISPOSE OF SEDIMENT BY SPREADING OVER CROPLAND BEFORE PLANTING CROPS AND IN A MANNER THAT WILL NOT IMPEDE THE NATURAL FLOW OF STORMWATER. FOLLOW THE FARM'S AGRICULTURAL E&S PLAN TO MINIMIZE EROSION.

MAKE SURE THE SITE(S) RECEIVING THE EXCESS HAS AN APPROVED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS

CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT. SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES HAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.).

ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM P-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL

ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES. INCLUDING. BUT NOT LIMITED TO. VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION CREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF CLEAN FILL."

CRITICAL STAGES OF IMPLEMENTATION / STORMWATER MANAGEMENT BMP CONSTRUCTION OBSERVATIONS

A LICENSED PROFESSIONAL OR DESIGNEE SHALL BE PRESENT ON-SITE TO INSPECT THE CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN. THE FOLLOWING CRITICAL STAGES OF IMPLEMENTATION SHALL BE

I. INSTALLATION OF SEEPAGE BED A B. INSTALLATION OF TOPSOIL AMENDMENT

2. INSTALLATION OF VEGETATED SWALE A 3. PERMANENT SITE STABILIZATION

#### CONSTRUCTION SEQUENCE

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH

IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPS) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

FAILURE TO CORRECTLY INSTALL SEDIMENT CONTROL FACILITIES OR FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE OR FAILURE TO TAKE CORRECTIVE ACTIONS TO IMMEDIATELY RESOLVE FAILURES OF SEDIMENT CONTROL FACILITIES MAY RESULT IN ADMINISTRATIVE. CIVIL AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS DEFINED IN SECTION 602 OF THE CLEAN STREAMS LAW OF PENNSYLVANIA. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

#### COMPACTION SHALL BE AVOIDED IN ALL INFILTRATION AREAS.

1 AT LEAST 7 DAYS BEFORE STARTING ANY FARTH DISTURBANCE ACTIVITIES. THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THI LANCASTER COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.

2. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

3 PERFORM CONSTRUCTION STAKEOUT AND FIFLD MARK ALL F&S CONTROLS AND LIMITS OF DISTURBANCE PRIOR TO BEGINNING EARTH WORK, THE REGULATED LIMITS OF DISTURBANCE SHALL BE ACCURATELY MARKED BY A FIELD SURVEY AND MAINTAINED THROUGHOUT CONSTRUCTION.

4. INSTALL TEMPORARY ROCK CONSTRUCTION ENTRANCE PER PLAN SPECIFICATIONS AND DETAILS.

3. INITIATE STRIPPING AND STOCKPILING OF TOPSOIL FROM AREAS WHICH ARE TO BE RE-GRADED FOR THI CONSTRUCTION OF THE BUILDING, CONCRETE PAD, AND ACCESS. STRIPPING SHALL BE LIMITED TO THOSE AREAS WHICH ARE TO BE IMMEDIATELY RE-GRADED. STOCKPILE EXCESS SOIL AND TOPSOIL IN DESIGNATED

. INITIATE GRADING FOR CONSTRUCTION OF THE BUILDING PAD, CONCRETE WALKWAYS, AND ACCESS. TO THE EXTENT POSSIBLE, DISTURBANCE SHALL BE LIMITED TO THE AREA BEING GRADED AT ANY GIVEN TIME.

#### 8. INSTALL TEMPORARY CONCRETE WASHOUT.

9. INITIATE AND COMPLETE CONSTRUCTION OF THE BUILDINGS.

10. INSTALL SWALE A AND STABILIZE PER PLAN DETAILS AND SPECIFICATIONS.

I1. INSTALL AND STUB ALL GUTTER PIPES AND DOWNSPOUTS THAT WILL CONNECT TO SEEPAGE BED A PER PLAN

12. INITIATE STRIPPING AND STOCKPILING OF TOPSOIL FROM AREAS WHICH ARE TO BE RE-GRADED FOR THE CONSTRUCTION OF THE SEEPAGE BED A. STRIPPING SHALL BE LIMITED TO THOSE AREAS WHICH ARE TO BE IMMEDIATELY RE-GRADED FOR THE SEEPAGE BED. STOCKPILE EXCESS SOIL AND TOPSOIL IN TOPSOIL

13. INITIATE EXCAVATION FOR CONSTRUCTION OF PCSM SEEPAGE BED A. TO THE EXTENT POSSIBLE, DISTURBANCE SHALL BE LIMITED TO THE AREA BEING GRADED AT ANY GIVEN TIME. CONTACT THE DESIGN ENGINEER DURING THIS TIME FOR INSPECTION OF THE FACILITY. A. INSTALL PCSM SEEPAGE BED A PER PLAN SPECIFICATIONS AND DETAILS. AVOID SOIL COMPACTION IN THE

B. INSTALL INLET-1, CLEANOUTS, AND ALL ASSOCIATED PIPING PER PLAN SPECIFICATIONS AND DETAILS. C. ONCE THE SEEPAGE BED IS COMPLETED, CONNECT SEEPAGE BED A PIPES TO ROOF RUNOFF CONVEYANCE

#### 14. COMPLETE FINAL GRADING OF SEEPAGE BED A PER THE SITE PLAN

BOTTOM OF THE SEEPAGE BED DURING CONSTRUCTION.

 $\mid$  15. COMPLETE THE FINAL GRADING OF THE SITE PER THE SITE PLAN AND STABILIZE SITE A. REMOVE ALL SEDIMENT FROM E&S CONTROLS AND WORK INTO THE FINAL GRADING

B. PRIOR TO THE APPLICATION OF TOPSOIL. SCARIFICATION OR LOOSENING OF SOIL TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE SHALL BE DONE C. IMMEDIATELY AFTER FINAL GRADE IS ACHIEVED FOR ANY PORTION OF THE SITE, PERMANENT VEGETATIVE STABILIZATION SHALL BE IMPLEMENTED ON ALL DISTURBED AREAS PER PLAN SPECIFICATIONS AND DETAILS. PERMANENT STABILIZATION REQUIRES THAT VEGETATED AREAS MUST ACHIEVE A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OVER THE ENTIRE DISTRUBED AREA. ANY SLOPE 3:1 OR STEEPER SHALL HAVE EROSION CONTROL MATTING INSTALLED ON THE SLOPE PER PLAN SPECIFICATIONS AND DETAILS. D. IMMEDIATELY AFTER FINAL GRADE IS ACHIEVED FOR ANY PORTION OF A DRIVEWAY AND/OR TURNAROUND AREA, STABILIZATION WITH GRAVEL SHALL BE IMPLEMENTED PER PLAN SPECIFICATIONS AND DETAILS. F INSTALL ROOF GUTTERS DOWNSPOUT AND UNDERGROUND CONVEYANCE TO SEFPAGE BED.

16. REMOVE ALL TEMPORARY E&S CONTROLS. A. REMOVE CONCRETE WASH WATER DISPOSAL AREA.

B REMOVE ALL COMPOST FILTER SOCK

REMOVE ROCK CONSTRUCTION ENTRANCE. D. STABILIZE ANY REMAINING DISTURBED AREAS PER PLAN SPECIFICATIONS AND DETAILS.

DESIGN ENGINEER IT COMPLETE AN AS-BUILT PLAN FOR SUBMISSION

17. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES, REMOVAL OF ALL TEMPORARY BMPS AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS. THE OWNER AND/OPERATORS SHALL CONTACT THE

SEED ADDITION DATES

SEED APPLICATION RATES				
(TEMPORARY)				
SPECIES:		Al	NNUAL RYEGRASS	
% PURE LIVE SEED:		95%		
APPLICATION RATE:		175 LB. / ACRE		
FERTILIZER TYPE:			10-10-10 (X-X-X)	
FERTILIZER APPLICATION RA	TE:	500 LB. / ACRE		
LIMING RATE:		1.0 T. / ACRE		
MULCH TYPE:		STRAW OR HAY		
MULCHING RATE:		3.0 T. / ACRE		
	(PE	RMANENT)		
TOPSOIL PLACEMENT DEPT	H:		6.0 INCH	
SPECIES:			% HARD FESCUE / 10% SWITCHGRASS / RYE GRASS / 6% WHITE CLOVER	
% PURE LIVE SEED:			95%	
APPLICATION RATE:			150 LB. / ACRE	
FERTILIZER TYPE:			10-20-20 (X-X-X)	
FERTILIZER APPLICATION RA	TE:		500 LB. / ACRE	
LIMING RATE:		6.0 T. / ACRE		
MULCH TYPE:		STRAW		
MULCHING RATE:		3.0 T. / ACRE		
ANCHOR MATERIAL:		TACKIFIER		
ANCHORING METHOD:		SPRAY SLURRY		
RATE OF ANCHOR MATERIAL APPL	ICATION:	100 LB. / ACRE		
SEEDING SEASON DATES		MARCH 15 - OCTOBER 15		
SEEDING MIX: LOW	SEE	EDING MIX:	SEEDING MIX:	
MAINTENANCE BASIN	EMB	ANKMENTS	SWALES/LOWLANDS/VFS	
CONSERVATION FORMULATIONS: BASIN MIX: CONSERVE - LOW MAINTENANCE BASIN 50% TALL FESCUE 8% HARD FESCUE 0% PERENNIAL RYEGRASS 0% CREEPING RED FESCUE 5% WHITE CLOVER 5% REDTOP	CONSERVATION FORMULATIONS: EMBANKMENTS: CONSERVE - HIGH & DRY  55% TALL FESCUE 19% HARD FESCUE 10% SWITCHGRASS 10% PERENNIAL RYEGRASS 6% WHITE CLOVER		CONSERVATION FORMULATIONS: SWALES & LOWLANDS: CONSERVE - LOWLAND 54% TALL FESCUE 24% POA TRIVIALIS 10% PERENNIAL RYEGRASS 6% REDTOP 6% REED CANARYGRASS	
SEEDING RATE: 200 LBS PER ACRE SEEDING RATE: 150 LBS PER			SEEDING RATE: 200 LBS PER ACRE	
SUPPLIED BY: F.M. BROWN'S SONS, INC. SINKING SPRING, PA, PHONE: 800-345-3344, FAX: 610-678-7023 WWW.FMBROWN.COM				

SEEPAGE BED NOTES <u>SEEPAGE BED NOTES:</u>
1. THE SEEPAGE BED SHALL BE SETBACK A MINIMUM OF 12' FROM ALL STRUCTURES WITH SUB-GRADE ELEMENTS (IE. BASEMENTS AND FOUNDATION WALLS)  $2.\,$  EXCAVATION FOR THE INFILTRATION FACILITY SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT THE BOTTOM OF THE SEEPAGE BED/TRENCH, OR LIKE FACILITY. 3. THE SEEPAGE BED BOTTOM SHALL BE A MINIMUM OF 2' ABOVE THE SEASONAL HIGH WATER TABLE THE BOTTOM OF THE BED AND/OR TRENCH SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE 5. ONLY CLEAN AGGREGATE, FREE OF FINES, SHALL BE ALLOWED. 6. THE TOP AND SIDES OF ALL SEEPAGE BEDS. TRENCHES. OR LIKE FACILITIES SHALL BE COVERED WITH

1. ALL ROOF LEADERS SHALL BE A MINIMUM OF 6" OR AS NOTED ON PLANS.

2. ALL SEEPAGE BED PERFORATED PIPE SHALL BE A MINIMUM OF 12"

AMEND SOIL AT A RATE OF 5%-15%. GREEN MANURE MAY NOT BE USED.

a. SUBSOILING IS ONLY EFFECTIVE WHEN PERFORMED ON DRY SOILS.

2. STABILIZED BMP PER PLAN SPECIFICATIONS AND DETAILS.

. VEGETATED SWALE, CONSTRUCTION SEQUENCE:

STABILIZE BMP PER PLAN SPECIFICATION AND DETAILS

REPLACEMENT OF TOPSOIL AMENDMENT IN THE BMP.

CONSTRUCTION CLASS 1

COMPOSTED MANURE SOLIDS.

SPECIFICATIONS AND DETAILS.

OBLITERATE EROSION RILLS.

(8 INCHES FOR MINOR COMPACTION).

. VEGETATED AREAS SEQUENCE

REPLACEMENT OF TOPSOIL AMENDMENT IN THE BMP.

FACILITIES.

DRAINAGE FILTRATION FABRIC. FABRIC SHALL MEET THE SPECIFICATIONS OF PENNDOT PUBLICATION 408,  $^{\prime}$  . PROVISIONS FOR THE COLLECTION OF DEBRIS IN ORDER TO PREVENT CLOGGING SHALL BE PROVIDED IN ALL 3. ALL ROOF DRAINS DISCHARGING TO THE INFILTRATION TRENCH SHALL HAVE DOWNSPOUT FILTERS INSTALLED . THE SEEPAGE BED SHALL DEWATER WITHIN 24 HOURS AFTER THE 2 YEAR DESIGN STORM EVENT. 0. BED BOTTOM AND HOPE PIPE SHOULD BE INSTALLED AT A LEVEL (0% GRADE) ELEVATION ON LINCOMPACTED. UNDISTURBED SOIL AND THEN SCARIFIED. CARE SHALL BE TAKEN TO ENSURE TO COMPACTION EQUIPMENT SEDIMENT, OR STONE DUST DOES NOT ENTER THE INFILTRATION PIT AS THIS COULD POTENTIALLY SEAL THE 3. REPLACE A MINIMUM OF 12" OF TOPSOIL OVER GEOTEXTILE MATERIAL AND RE-VEGETATE SOIL AMENDMENT & RESTORATION CONSTRUCTION NOTES SOIL AMENDMENT AND RESTORATION IS THE PROCESS OF RESTORING DISTURBED SOILS BY RESTORING SOIL POROSITY BY PHYSICAL TREATMENT AND/OR ADDING A SOIL AMENDMENT, SUCH AS TOPSOIL, COMPOST OR THE SOIL RESTORATION PROCESS MAY NEED TO BE REPEATED OVER TIME, DUE TO COMPACTION BY USE AND/OR SETTLING. a. TREAT COMPACTED AREAS BY RIPPING / SUBSOILING / TILLING / SCARIFYING AS OUTLINED BELOW, PRIOR TO DISTRIBUTE TOPSOIL AMENDMENT OVER INFILTRATION BMP. ON-SITE TOPSOIL WITH AN ORGANIC CONTENT OF AT LEAST 5 PERCENT CAN BE PROPERLY STOCKPILED AND USED. COMPOSTED MANURE SOLIDS MAY BE USED TO a. TREAT COMPACTED AREAS BY RIPPING / SUBSOILING / TILLING / SCARIFYING AS OUTLINED BELOW, PRIOR TO DISTRIBUTE TOPSOIL WITH A HIGH ORGANIC CONTENT BACK WITHIN VEGETATED SWALES. ON-SITE TOPSOIL WITH A CONTENT OF AT LEAST 5 PERCENT CAN BE PROPERLY STOCKPILED AND USE. STABILIZED BMP PER PLAN 3. TREATING COMPACTION BY RIPPING / SUBSOILING / TILLING / SCARIFICATION CONSTRUCTION SEQUENCE: D. RIPPING, SUBSOILING, OR SCARIFICATION OF THE SUBSOIL SHOULD BE PERFORMED WHERE SUBSOIL HAS BECOME COMPACTED BY EQUIPMENT OPERATION, DRIED OUT AND CRUSTED, OR WHERE NECESSARY TO z. RIPPING (SUBSOILING) SHOULD BE PERFORMED USING A SOLID-SHANK RIPPER AND TO A DEPTH OF 20 INCHES, I. SHOULD BE PERFORMED BEFORE TOPSOIL AMENDMENT IS PLACED AND AFTER ANY EXCAVATION OF 2. SUBSOILING SHOULD NOT BE PERFORMED WITH COMMON TILLAGE TOOLS SUCH AS A DISK OR CHISEL PLOW BECAUSE THEY ARE TOO SHALLOW AND CAN COMPACT THE SOIL JUST BENEATH THE TILLAGE DEPTH.

(FROM PA DEP E&S CONTROL MANUAL) 25% - 100% (DRY WEIGHT BASIS) ORGANIC MATTER CONTENT ORGANIC PORTIO FIBROUS AND ELONGATED 5.5 - 8.5 MOISTURE CONTENT 30% - 60% PARTICLE SIZE 30% - 50% PASS THROUGH 3/8" SIEVE SOLUBLE SALT CONCENTRATION 5.0 dS/m (mmhos/cm) MAXIMUM

TABLE 4.2: COMPOST STANDARDS

#### PERMANENT STABILIZATION CONSTRUCTION NOTES PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR

OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

. ALL TOPSOIL SHALL BE REPLACED AT A DEPTH OF AT LEAST 6" IN ORDER TO PROMOTE STORMWATER INFILTRATION AND PERMANENT VEGETATIVE STABILIZATION ON ALL DISTURBED AREAS TO BE PERMANENTLY REVEGETATED.

3. ALL TOPSOIL SHALL BE LOOSENED TO A DEPTH OF AT LEAST 4". ALL OBJECTIONABLE MATERIAL LARGER THAN 2" SHALL BE REMOVED

4. CONTRACTOR SHALL PROVIDE SOIL TESTING PH BEFORE IMPLEMENTING PERMANENT SEEDING. LIMESTONE AND FERTILIZER SHALL BE APPLIED UNIFORMLY TO AREAS TO BE SEEDED. AND WORKED INTO THE SOIL TO A DEPTH OF 2". IN THE ABSENCE OF SOILS TESTING, APPLY LIMESTONE AND FERTILIZER PER THE APPLICATION

RATE SPECIFIED BELOW. A. LIMESTONE - PULV. AG., AT 6 TONS/ACRE

B. FERTILIZER - 100 LBS/AC N, 200 LBS/AC P205, 200 LBS/AC K20 BASED ON EROSION CONTROL & CONSERVATION PLANTING ON NONCROPLAND.

5. MULCH OF LONG STEM STRAW SHALL BE APPLIED AT AN EVEN APPLICATION OF 3 TONS/ACRE WITH A SURFACE COVERING OF 100%, MULCH SHALL BE EITHER MECHANICALLY STABILIZED OR STABILIZED BY USE OF A TACKIFIER.

**BACKFILL MATERIAL NOTE** 

BACKFILL MATERIAL SHALL BE FREE OF LARGE (NOT EXCEEDING SIX INCHES), OBJECTIONABLE, OR DETRITUS MATERIAL, SELECT NON-AGGREGATE MATERIAL SHOULD BE INDIGENOUS TO THE SURROUNDING SOIL MATERIAL FOR NON-VEHICULAR

6. HYDROSEED IS NOT CONSIDERED STABILIZATION UNTIL IT GERMINATES.

**GRAVEL DRIVEWAY NOTES** POST-CONSTRUCTION STORMWATER MANAGEMENT OPERATION AND MAINTENANCE GRAVEL AREA NOTES:
GRAVEL AREAS: GRAVEL DEPTH SHALL BE MAINTAINED AS NECESSARY TO RESIST THE LOADS AND RUTTING IMPOSED BY THE ANTICIPATED TRAFFIC. CHRISTIAN K. & ELIZABETH K. STOLTZFUS 2980 HARVEST ROAD ELIZABETHTOWN, PA 17022 • INSPECT FOR RUTS. PHONE # (717) 344 - 0151 INSPECT FOR AREAS WHERE GRAVEL DEPTH IS THINNING. ACKNOWLEDGEMENT OF RESPONSIBILTY I HEREBY ACKNOWLEDGE THAT, I AM RESPONSIBLE FOR THE POST-CONSTRUCTION OPERATION AND FILL RUTS WITH GRAVEL MAINTENANCE OF ALL STORMWATER MANAGEMENT CONVEYANCES AND BEST MANAGEMENT PRACTICES AS REPLACE GRAVEL IN AREAS WHERE GRAVEL DEPTH IS THINNING. STATED BELOW. STORMWATER PIPES & APPURTENANCES ORMWATER PIPES AND APPURTENANCES SHALL BE MAINTAINED TO ENSURE STRUCTURAL INTEGRITY, DESIG DATE FLOW CAPACITY AND THE UNIMPEDED CONVEYANCE OF STORMWATER. APPURTENANCES INCLUDE FLARED END OPERATION AND MAINTENANCE NOTES . ALL STORMWATER MANAGEMENT CONVEYANCES AND BEST MANAGEMENT PRACTICES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE CONTRACTOR IN ACCORDANCE WITH THE DESIGN. CONDITIONS AND INSPECT STORMWATER PIPES AND APPURTENANCES FOR DEBRIS AND/OR SEDIMENT SPECIFICATIONS IDENTIFIED ON THIS PLAN. OWNERSHIP, OPERATION AND MAINTENANCE OF THE STORMWATER INSPECT THE STRUCTURAL INTEGRITY OF STORMWATER PIPES AND APPURTENANCES MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE LANDOWNER, HIS SUCCESSORS AND ASSIGNS IN PERPETUITY, UNLESS SPECIFICALLY IDENTIFIED OTHERWISE HEREIN. REMOVE AND/OR FLUSH DEBRIS AND/OR SEDIMENT FROM STORMWATER PIPES AND APPURTENANCES. STORMWATER MANAGEMENT CONVEYANCES AND BEST MANAGEMENT PRACTICES SHALL BE OPERATED AND REPAIR OR REPLACE DAMAGED STORMWATER PIPES AND APPURTENANCES. MAINTAINED IN GOOD WORKING CONDITION TO ENSURE THAT THEY PERFORM THEIR DESIGN FUNCTION, IN A SEEPAGE BED O&M NOTES IANNER ACCEPTABLE TO THE TOWNSHIP AND COUNTY . THE OWNER SHALL INSPECT EACH STORMWATER MANAGEMENT CONVEYANCE AND BEST MANAGEMENT INFILTRATION OF STORMWATER ENSURES THAT THE PEAK FLOW RATE AND VOLUME LEAVING THE SITE WIL PRACTICE AFTER EACH SIGNIFICANT RAINFALL EVENT. APPROPRIATE ACTION SHALL BE TAKEN TO ENSURE ALL NOT INCREASE. SUCH INCREASES MAY CAUSE FLOODING AND CHANNEL EROSIONS DOWNSTREAM OF THE SITE. MAINTENANCE. ALL MAINTENANCE COSTS WILL BE BORNE BY THE OWNER. THE BASINS SHALL BE MAINTAINED AND STABILIZED WITH PERMANENT VEGETATIVE COVER. THE SEEPAGE BED HAS A PRINCIPAL SPILLWAY INLET/OUTLET (STONE INLET/FILTER) TO DISTRIBUTE RUNOFF I. MUNICIPAL AND COUNTY OFFICIALS AND THEIR AGENTS OR EMPLOYEES SHALL HAVE THE RIGHT OF ACCESS FOR INSPECTION AND, IN CASES OF CONSTRUCTION DEFAULT, CONSTRUCTION OF THE STORMWATER MANAGEMENT CONVEYANCES AND BEST MANAGEMENT PRACTICES. INSPECT THE SEEPAGE BED AT LEAST 4 TIMES A YEAR AS WELL AS AFTER EVERY STORM EXCEEDING 1 INCH INSPECT AFTER EVERY MAJOR STORM FOR THE FIRST TWELVE MONTHS TO ENSURE PROPER FUNCTIONING . ALL STORMWATER FROM THE DEVELOPED SITE IS DESIGNED TO BE DIRECTED TO THE STORMWATER BMP'S AS DRAIN TIMES SHOULD BE OBSERVED TO CONFIRM THAT DESIGNED DRAIN TIMES HAVE BEEN ACHIEVED. SHOWN ON THE PLANS. SEE THE BMP SPECIFIC OPERATION AND MAINTENANCE NOTES. INSPECT FACILITY FOR SIGNS OF WETNESS OR DAMAGE TO STRUCTURES. SIGNS OF PETROLEUM HYDROCARBON CONTAMINATION, STANDING WATER, TRASH AND DEBRIS, SEDIMENT ACCUMULATION, SLOPE **VEGETATED AREA O&M NOTES** STABILITY, MATERIAL BUILDUP AND EVIDENCE OF SINKHOLE FORMATION. CHECK OBSERVATION WELLS FOR STANDING WATER. SEEPAGE PIT SHOULD BE EMPTY FOLLOWING 3 DAYS (7: VEGETATED AREAS ARE INSTALLED TO PROMOTE STORMWATER INFILTRATION AND PROVIDE RUNOFF RATE HOURS) OF DRY WEATHER TO ENSURE PROPER INFILTRATION. CONTROL. VEGETATED AREAS SHALL BE MAINTAINED AND STABILIZED WITH PERMANENT VEGETATIVE COVER. INSPECT PRETREATMENT DEVICES, DIVERSION STRUCTURES, AND UPSTREAM TRIBUTARY AREA FOR DAMAGE VEGETATED AREAS SHALL BE MAINTAINED IN A MEADOW CONDITION SEDIMENT BUILDUP, AND STRUCTURAL DAMAGE. MAINTENANCE ISSUES INSPECT THE AMOUNT OF PERMANENT VEGETATIVE COVER ON THE SOIL SURFACE PROPERLY DESIGNED AND INSTALLED SEEPAGE PITS REQUIRE SOME REGULAR MAINTENANCE • INSPECT THE AMOUNT OF PERMANENT VEGETATIVE COVER ON THE SOIL SURFACE OF THE VEGETATED LEVEL REPAIR UNDERCUT AND ERODED AREAS AT INFLOW AND OUTFLOW STRUCTURES. REMOVE SEDIMENT, DEBRIS, AND OIL/GREASE FROM PRETREATMENT DEVICES AND OVERFLOW STRUCTURES • BIWEEKLY INSPECTIONS ARE RECOMMENDED FOR AT LEAST THE FIRST GROWING SEASON, OR UNTIL THE REMOVE TRASH, DEBRIS, GRASS CLIPPINGS, TREES, AND OTHER LARGE VEGETATION FROM THE RUNOFF TO VEGETATION IS PERMANENTI Y ESTABLISHED THE SEEPAGE BED INLET AND DISPOSE OF PROPERLY • ONCE THE VEGETATION IS ESTABLISHED. INSPECTIONS OF HEALTH, DIVERSITY, AND DENSITY SHOULD BE CLEAN OUT INLET/OUTLET STRUCTURES AND OVERFLOW SPILLWAY, IF NECESSAR\ PERFORMED AT LEAST TWICE PER YEAR, DURING BOTH THE GROWING AND NON-GROWING SEASON. • AT A MINIMUM OF TWO (2) TIMES PER YEAR AND AFTER EACH RAINFALL EVENT THAT IS EQUAL TO OR GREATER THAN THE 10-YEAR / 24-HOUR STORM RAINFALL OF 4.56", CHECK THE WATER LEVEL AND DRAIN DOWN TIME • IF PERMANENT VEGETATIVE COVER FALLS BELOW 70% OF THE SOIL SURFACE, RE-SEED OR OVER-SEED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS. • APPLY LIME AND FERTILIZER IN ACCORDANCE WITH RECOMMENDATIONS BASED ON SOIL TESTING. • MOW ALL GRASSES AT LEAST TWICE EACH YEAR. MOWING SHOULD BE DONE ONLY WHEN THE SOIL IS DRY, IN

ORDER TO PREVENT TRACKING DAMAGE TO VEGETATION, SOIL COMPACTION, AND FLOW CONCENTRATIONS. EGETATED SWALE & BERM NOTES DISPOSE OF CUTTINGS IN A LOCAL COMPOSTING FACILITY. RAIN GUTTER, DOWNSPOUT & OUTLET PIPE NOTES

RAIN GUTTER, DOWNSPOUT & OUTLET PIPE NOTES: RAIN GUTTERS SHALL CONVEY ROOF RUNOFF TO DOWNSPOUTS CONNECTED TO

OUTLET PIPES WHICH SHALL DISCHARGE TO PERMANENTLY VEGETATED AREAS AND/OR STORMWATER CONVEYANCES TO PROMOTE STORMWATER INFILTRATION AND PROVIDE RUNOFF RATE CONTROL. RAIN GUTTERS, DOWNSPOUTS AND OUTLET PIPES SHALL BE MAINTAINED TO ENSURE STRUCTURAL INTEGRITY, DESIGN FLOW CAPACITY AND THE UNIMPEDED CONVEYANCE OF ROOF RUNOFF.

• INSPECT RAIN GUTTERS, DOWNSPOUTS AND OUTLET PIPES FOR DEBRIS. • INSPECT THE STRUCTURAL INTEGRITY OF RAIN GUTTERS, DOWNSPOUTS AND OUTLET

• INSPECT FOR EROSION AT OUTLET PIPE OUTLETS.

• REMOVE AND/OR FLUSH DEBRIS FROM RAIN GUTTERS, DOWNSPOUTS AND OUTLET REPAIR OR REPLACE DAMAGED RAIN GUTTERS. DOWNSPOUTS AND OUTLET PIPES. • REPLACE TOPSOIL IN ERODED AREAS AT OUTLET PIPE OUTLETS AND STABILIZE WITH PERMANENT VEGETATIVE COVER.

WITHIN THE SEEPAGE BED. SHOULD STANDING WATER REMAIN IN THE FACILITY FOR MORE THAN 96 HOURS. AFTER A STORM EVENT THE FACILITY MAY BE CLOGGED. CONTACT A PROFESSIONAL EXPERIENCED IN THE DESIGN OF SUCH FACILITIES TO INVESTIGATE OPTIONS TO REPAIR THE FACILITY AND RE-ESTABLISH POSITIVE DRAINAGE. CLEANING OF THE DISTRIBUTION PIPES OR REPLACEMENT OF THE FACILITY MAY BE NECESSARY. VEGETATED SWALE & BERM O&M NOTES ÆGETATED SWALES ARE INSTALLED TO PROMOTE WATER QUALITY AND STORMWATER INFILTRATION. VEGETATED SWALES SHALL BE MAINTAINED AND STABILIZED WITH PERMANENT VEGETATIVE COVER. VEGETATED SWALES SHALL BE MAINTAINED IN A MEADOW CONDITION. ANY DAMAGED AREAS SHOULD BE FULLY RESTORED

TO ENSURE FUTURE FUNCTIONALITY OF THE SWALE. INSPECTION AND MAINTENANCE ISSUES THE FOLLOWING SCHEDULE OF INSPECTION AND MAINTENANCE ACTIVITIES IS RECOMMENDED:

MAINTENANCE ACTIVITIES TO BE DONE ANNUALLY AND WITHIN 48 HOURS AFTER EVERY MAJOR STORM EVENT (> 1 INCH RAINFALL DEPTH): INSPECT AND CORRECT EROSION PROBLEMS. DAMAGE TO VEGETATION. AND SEDIMENT AND DEBRIS

ACCUMULATION (ADDRESS WHEN > 3 INCHES AT ANY SPOT OR COVERING VEGETATION) INSPECT VEGETATION ON SIDE SLOPES FOR EROSION AND FORMATION OF RILLS OR GULLIES, CORRECT AS • INSPECT FOR POOLS OF STANDING WATER; DEWATER AND DISCHARGE TO AN APPROVED LOCATION AND

RESTORE TO DESIGN GRADE • MOW AND TRIM VEGETATION TO ENSURE SAFETY, AESTHETICS, PROPER SWALE OPERATION, OR TO SUPPRESS WEEDS AND INVASIVE VEGETATION; DISPOSE OF CUTTINGS IN A LOCAL COMPOSTING FACILITY; MOW ONLY WHEN

SWALE IS DRY TO AVOID RUTTING INSPECT FOR LITTER: REMOVE PRIOR TO MOWING • INSPECT FOR UNIFORMITY IN CROSS-SECTION AND LONGITUDINAL SLOPE, CORRECT AS NEEDED

• INSPECT SWALE INLET (CURB CUTS, PIPES, ETC.) AND OUTLET FOR SIGNS OF EROSION OR BLOCKAGE, CORRECT

MAINTENANCE ACTIVITIES TO BE DONE AS NEEDED:

• MOW ALL GRASSES AT LEAST TWICE EACH YEAR.

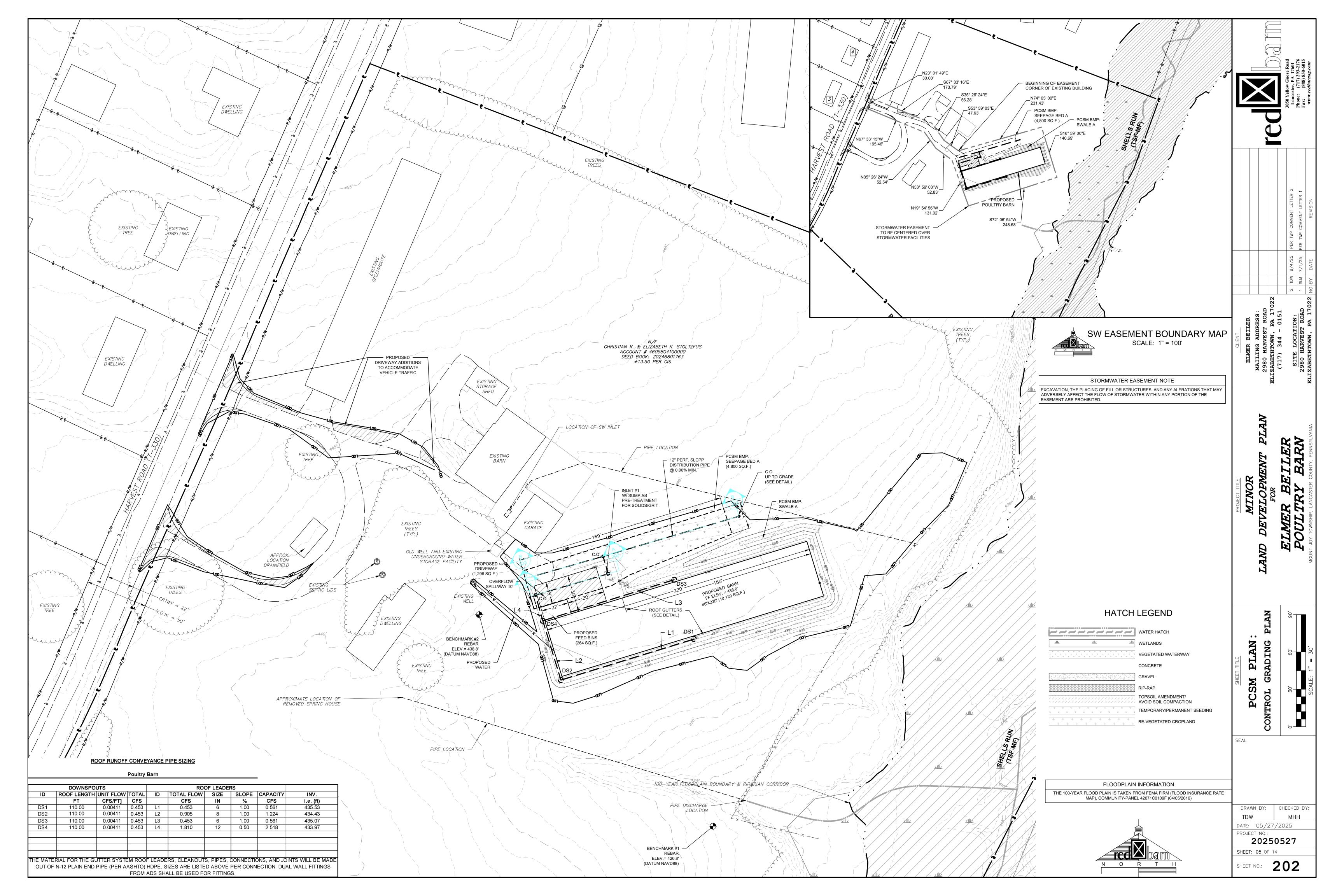
 PLANT ALTERNATIVE GRASS SPECIES IN THE EVENT OF UNSUCCESSFUL ESTABLISHMEN • RESEED BARE AREAS; INSTALL APPROPRIATE EROSION CONTROL MEASURES WHEN NATIVE SOIL IS EXPOSED OR EROSION CHANNELS ARE FORMING • ROTOTILL AND REPLANT SWALE IF STANDING WATER EXISTS FOR MORE THAN 48 HOURS

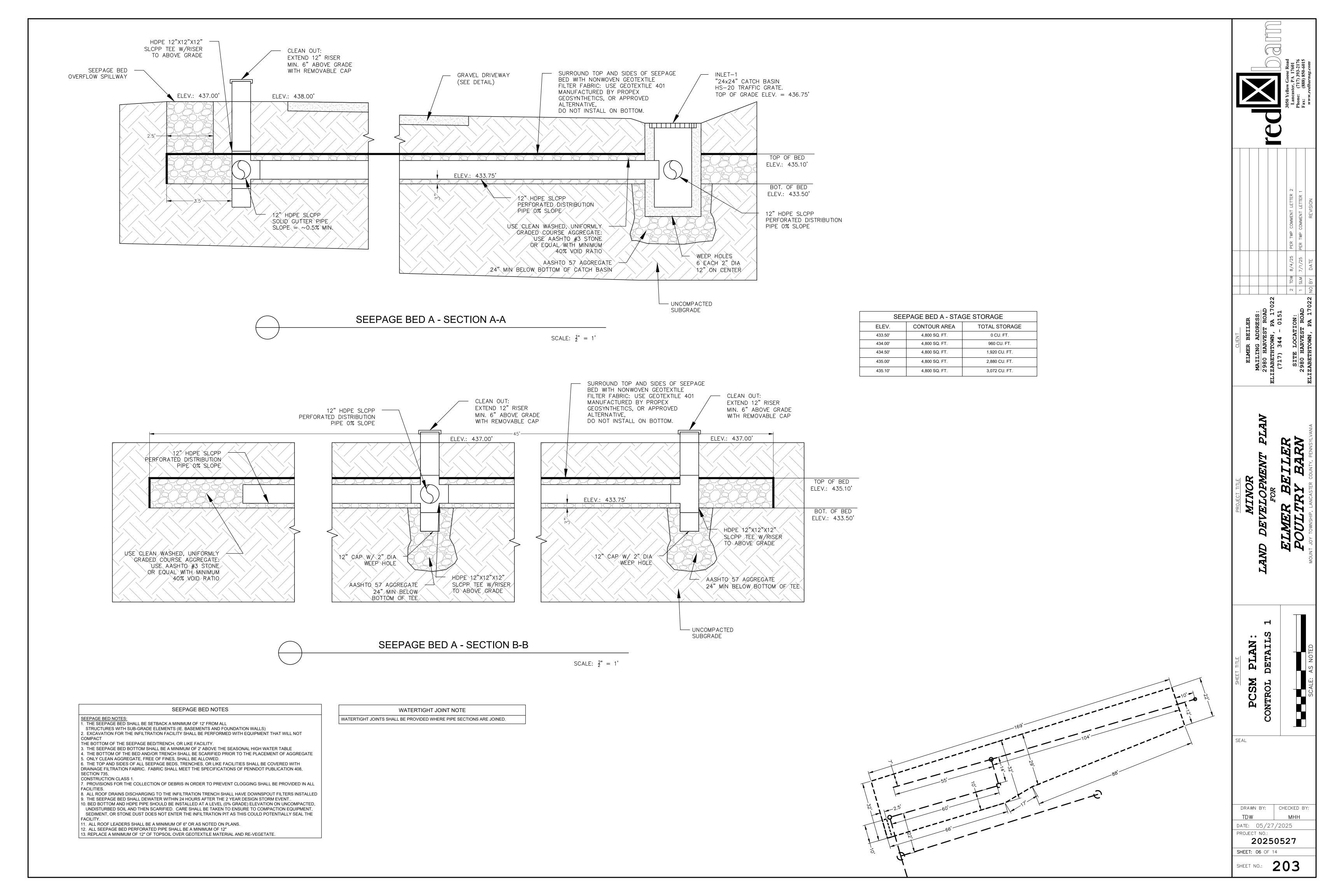
• INSPECT AND CORRECT CHECK DAMS WHEN SIGNS OF ALTERED WATER FLOW (CHANNELIZATION, OBSTRUCTIONS, EROSION, ETC.) ARE IDENTIFIED

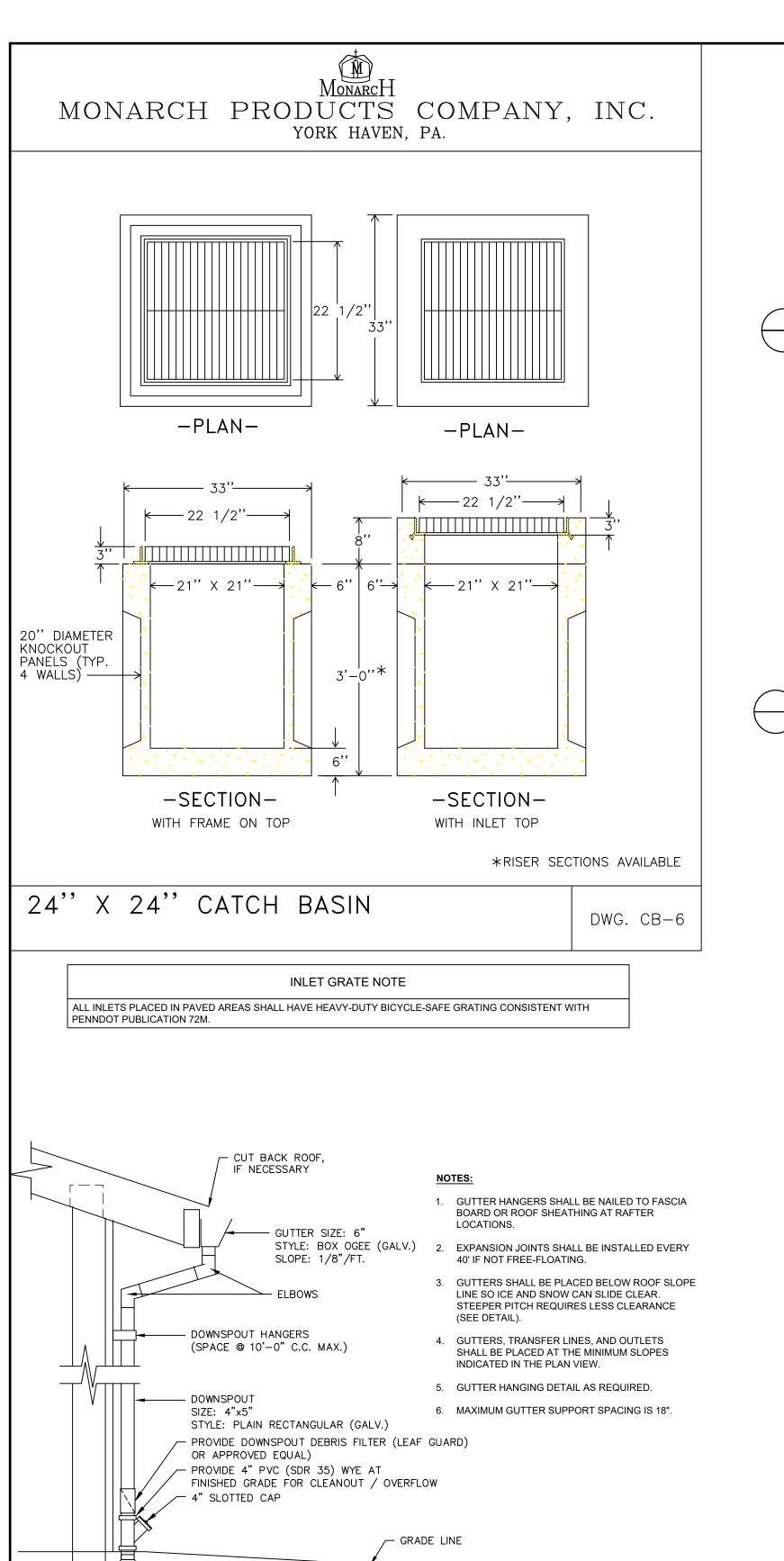
 WATER DURING DRY PERIODS, FERTILIZE, AND APPLY PESTICIDE ONLY WHEN ABSOLUTELY NECESSARY REMOVE DEBRIS AND/OR SEDIMENT FROM SWALES AND DIVERSION BERMS • IF PERMANENT VEGETATIVE COVER FALLS BELOW 70% OF THE SOIL SURFACE OF THE SWALES AND DIVERSION BERMS, RE-SEED OR OVER-SEED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS.

DRAWN BY: CHECKED BY: DATE: 05/27/2025 PROJECT NO.: 20250527

**SHEET: 04** OF 14







— 4"X12" REDUCER

BOARD

TYPE B. ROOF HANGER

(CLEARANCES SHOWN ARE GUIDES FOR TYPICAL

ROOF SLOPES, REGARDLESS OF HANGER TYPE)

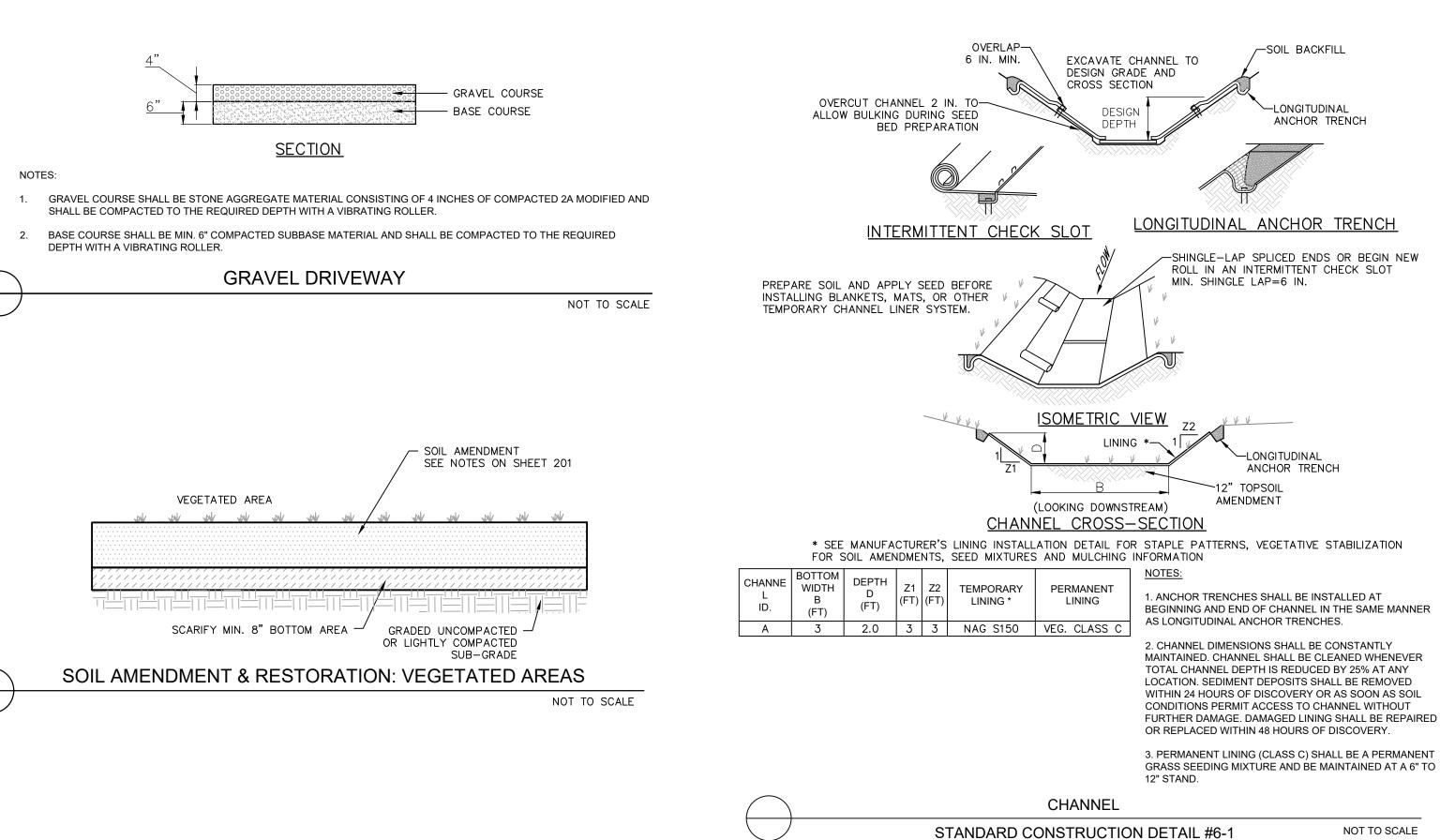
**ROOF DRAIN GUTTERS - DETAIL** 

TYPE C. BRACKET HANGER

NOT TO SCALE

TYPE A. FASCIA HANGER

FASCIA HANGER



GUTTER, DOWNSPOUTS, ROOF RUNOFF CONVEYANCE PIPING, AND UNDERGROUND WATER

THE ROOF GUTTERS CONVEY IMPERVIOUS ROOF RUNOFF TO BE DIRECTED TO THE CISTER. THE DOWNSPOUTS

SHALL BE CONNECTED TO ROOF RUNOFF CONVEYANCE PIPING THAT DISCHARGES TO UNDERGROUND CISTERN. THE GUTTERS, DOWNSPOUTS, AND ROOF RUNOFF CONVEYANCE PIPING SHALL BE MAINTAINED TO ENSURE

UNDERGROUND WATER TANKS. THE UNDERGROUND WATER TANKS SHALL STORE ROOF RUNOFF FOR

• MAINTAIN THE UNDERGROUND WATER TANKS, WATER PUMP, AND ALL ASSOCIATED PLUMBING PER

• REPAIR OR REPLACE DAMAGED GUTTERS, DOWNSPOUTS, ROOF RUNOFF CONVEYANCE PIPING, AND

• INSPECT GUTTERS, DOWNSPOUTS, ROOF RUNOFF CONVEYANCE PIPING, AND THE UNDERGROUND WATER

• INSPECT THE STRUCTURAL INTEGRITY OF GUTTERS, DOWNSPOUTS, ROOF RUNOFF CONVEYANCE PIPING, AND

• PERIODICALLY REMOVE AND/OR FLUSH DEBRIS AND ACCUMULATED SEDIMENT FROM GUTTERS, DOWNSPOUTS,

IRRIGATION RE-USE ON THE PROPERTY FOR THE GREENHOUSE AND CROPLAND.

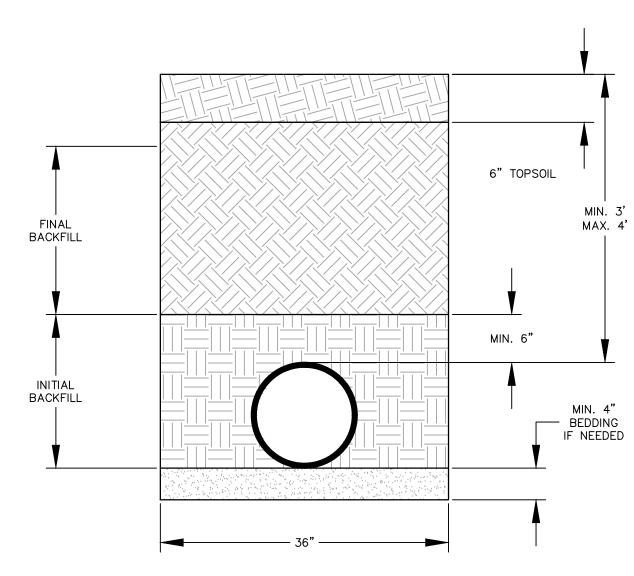
ROOF RUNOFF CONVEYANCE PIPING, AND THE UNDERGROUND WATER TANKS.

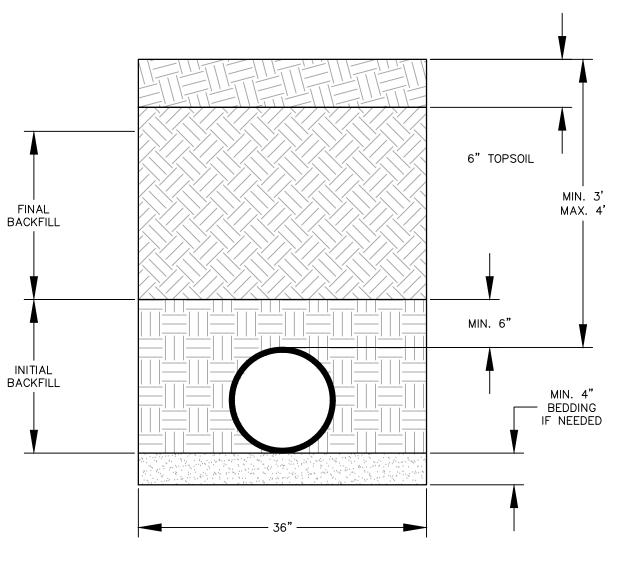
TANKS FOR DEBRIS AND ACCUMULATED SEDIMENT.

MANUFACTURER RECOMMENDATIONS AND SPECIFICATIONS.

THE UNDERGROUND WATER TANKS.

STRUCTURAL INTEGRITY, DESIGN FLOW CAPACITY, AND THE UNIMPEDED CONVEYANCE OF ROOF RUNOFF TO THE





PCSM

CONTROL

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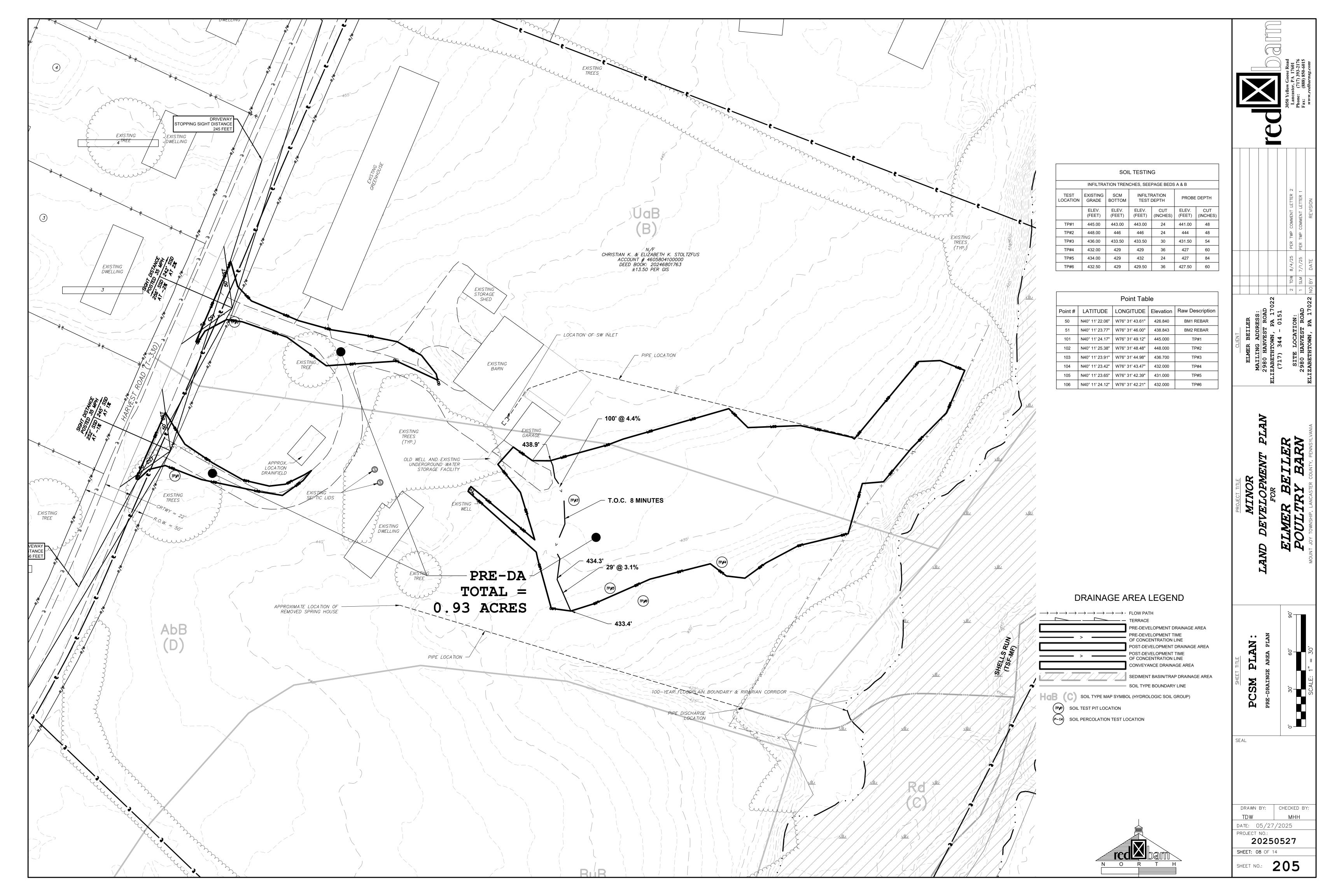
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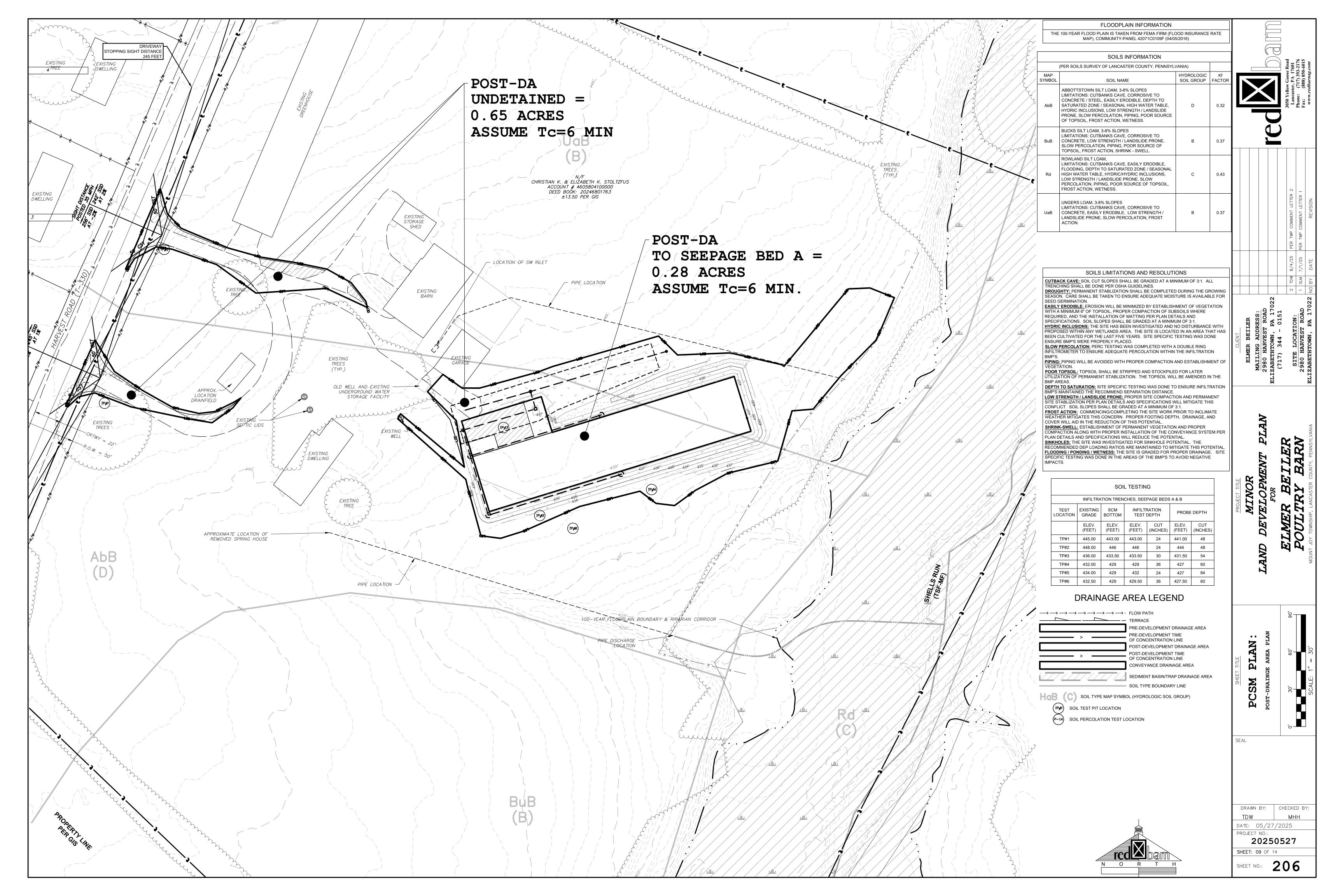
DATE: 05/27/2025

PROJECT NO .:

**SHEET: 07** OF 14

12" STORMWATER PIPELINE TRENCH THROUGH VEGETATED AREA NOT TO SCALE





. INSTALLATION OF SEEPAGE BED A **B. INSTALLATION OF TOPSOIL AMENDMENT** 2. INSTALLATION OF VEGETATED SWALE A 3. PERMANENT SITE STABILIZATION

#### CONSTRUCTION SEQUENCE

ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH

IMMEDIATELY LIPON DISCOVERING LINEORESEEN CIRCLIMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPS) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

FAILURE TO CORRECTLY INSTALL SEDIMENT CONTROL FACILITIES OR FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE OR FAILURE TO TAKE CORRECTIVE ACTIONS TO IMMEDIATELY RESOLVE FAILURES OF SEDIMENT CONTROL FACILITIES MAY RESULT IN ADMINISTRATIVE. CIVIL AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS DEFINED IN SECTION 602 OF THE CLEAN STREAMS LAW OF PENNSYLVANIA. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.

#### COMPACTION SHALL BE AVOIDED IN ALL INFILTRATION AREAS.

1. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE LANCASTER COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.

2. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.

3. PERFORM CONSTRUCTION STAKEOUT AND FIELD MARK ALL E&S CONTROLS AND LIMITS OF DISTURBANCE. PRIOR TO BEGINNING EARTH WORK, THE REGULATED LIMITS OF DISTURBANCE SHALL BE ACCURATELY MARKED BY A FIELD SURVEY AND MAINTAINED THROUGHOUT CONSTRUCTION.

4. INSTALL TEMPORARY ROCK CONSTRUCTION ENTRANCE PER PLAN SPECIFICATIONS AND DETAILS.

5. INSTALL TEMPORARY COMPOST FILTER SOCKS.

6. INITIATE STRIPPING AND STOCKPILING OF TOPSOIL FROM AREAS WHICH ARE TO BE RE-GRADED FOR THE CONSTRUCTION OF THE BUILDING, CONCRETE PAD, AND ACCESS. STRIPPING SHALL BE LIMITED TO THOSE AREAS WHICH ARE TO BE IMMEDIATELY RE-GRADED. STOCKPILE EXCESS SOIL AND TOPSOIL IN DESIGNATED

7. INITIATE GRADING FOR CONSTRUCTION OF THE BUILDING PAD, CONCRETE WALKWAYS, AND ACCESS. TO THE EXTENT POSSIBLE, DISTURBANCE SHALL BE LIMITED TO THE AREA BEING GRADED AT ANY GIVEN TIME.

#### 8. INSTALL TEMPORARY CONCRETE WASHOUT.

9. INITIATE AND COMPLETE CONSTRUCTION OF THE BUILDINGS.

10. INSTALL SWALE A AND STABILIZE PER PLAN DETAILS AND SPECIFICATIONS.

11. INSTALL AND STUB ALL GUTTER PIPES AND DOWNSPOUTS THAT WILL CONNECT TO SEEPAGE BED A PER PLAN

12. INITIATE STRIPPING AND STOCKPILING OF TOPSOIL FROM AREAS WHICH ARE TO BE RE-GRADED FOR THE CONSTRUCTION OF THE SEEPAGE BED A. STRIPPING SHALL BE LIMITED TO THOSE AREAS WHICH ARE TO BE IMMEDIATELY RE-GRADED FOR THE SEEPAGE BED. STOCKPILE EXCESS SOIL AND TOPSOIL IN TOPSOIL

13. INITIATE EXCAVATION FOR CONSTRUCTION OF PCSM SEEPAGE BED A. TO THE EXTENT POSSIBLE DISTURBANCE SHALL BE LIMITED TO THE AREA BEING GRADED AT ANY GIVEN TIME. CONTACT THE DESIGN ENGINEER DURING THIS TIME FOR INSPECTION OF THE FACILITY. A. INSTALL PCSM SEEPAGE BED A PER PLAN SPECIFICATIONS AND DETAILS. AVOID SOIL COMPACTION IN THE

B. INSTALL INLET-1, CLEANOUTS, AND ALL ASSOCIATED PIPING PER PLAN SPECIFICATIONS AND DETAILS. C. ONCE THE SEEPAGE BED IS COMPLETED, CONNECT SEEPAGE BED A PIPES TO ROOF RUNOFF CONVEYANCE

#### 14. COMPLETE FINAL GRADING OF SEEPAGE BED A PER THE SITE PLAN.

BOTTOM OF THE SEEPAGE BED DURING CONSTRUCTION.

COMPLETE THE FINAL GRADING OF THE SITE PER THE SITE PLAN AND STABILIZE SIT A. REMOVE ALL SEDIMENT FROM E&S CONTROLS AND WORK INTO THE FINAL GRADING. B. PRIOR TO THE APPLICATION OF TOPSOIL, SCARIFICATION OR LOOSENING OF SOIL TO A DEPTH OF 3 TO 5

INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE SHALL BE DONE C. IMMEDIATELY AFTER FINAL GRADE IS ACHIEVED FOR ANY PORTION OF THE SITE, PERMANENT VEGETATIVE STABILIZATION SHALL BE IMPLEMENTED ON ALL DISTURBED AREAS PER PLAN SPECIFICATIONS AND DETAILS. PERMANENT STABILIZATION REQUIRES THAT VEGETATED AREAS MUST ACHIEVE A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OVER THE ENTIRE DISTRUBED AREA. ANY SLOPE 3:1 OR STEEPER SHALL HAVE EROSION CONTROL MATTING INSTALLED ON THE SLOPE PER PLAN SPECIFICATIONS AND DETAILS.

D. IMMEDIATELY AFTER FINAL GRADE IS ACHIEVED FOR ANY PORTION OF A DRIVEWAY AND/OR TURNAROUND. AREA STABILIZATION WITH GRAVEL SHALL BE IMPLEMENTED PER PLAN SPECIFICATIONS AND DETAILS E. INSTALL ROOF GUTTERS, DOWNSPOUT AND UNDERGROUND CONVEYANCE TO SEEPAGE BED.

16. REMOVE ALL TEMPORARY E&S CONTROLS. A. REMOVE CONCRETE WASH WATER DISPOSAL AREA.

B. REMOVE ALL COMPOST FILTER SOCK.

C. REMOVE ROCK CONSTRUCTION ENTRANCE. D. STABILIZE ANY REMAINING DISTURBED AREAS PER PLAN SPECIFICATIONS AND DETAILS.

17. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES. REMOVAL OF ALL TEMPORARY BMPS AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OPERATORS SHALL CONTACT THE DESIGN ENGINEER IT COMPLETE AN AS-BUILT PLAN FOR SUBMISSION.

CEED ADDITION DATE

SEED APPLICATION RATES				
(TEMPORARY)				
SPECIES:		A	NNUAL RYEGRASS	
% PURE LIVE SEED:			95%	
APPLICATION RATE:		175 LB. / ACRE		
FERTILIZER TYPE:			10-10-10 (X-X-X)	
FERTILIZER APPLICATION RA	ATE:		500 LB. / ACRE	
LIMING RATE:		1.0 T. / ACRE		
MULCH TYPE:		STRAW OR HAY		
MULCHING RATE:		3.0 T. / ACRE		
	(PE	RMANENT)		
TOPSOIL PLACEMENT DEPT	ГН:		6.0 INCH	
SPECIES:			% HARD FESCUE / 10% SWITCHGRASS / RYE GRASS / 6% WHITE CLOVER	
% PURE LIVE SEED:			95%	
APPLICATION RATE:			150 LB. / ACRE	
FERTILIZER TYPE:			10-20-20 (X-X-X)	
FERTILIZER APPLICATION RA	ATE:	500 LB. / ACRE		
LIMING RATE:		6.0 T. / ACRE		
MULCH TYPE:		STRAW		
MULCHING RATE:			3.0 T. / ACRE	
ANCHOR MATERIAL:		TACKIFIER		
ANCHORING METHOD:		SPRAY SLURRY		
RATE OF ANCHOR MATERIAL APPL	RATE OF ANCHOR MATERIAL APPLICATION: 100 LB. / ACRE			
SEEDING SEASON DATES	:	MARCH 15 - OCTOBER 15		
SEEDING MIX: LOW MAINTENANCE BASIN	SEEDING MIX: EMBANKMENTS		SEEDING MIX: SWALES/LOWLANDS/VFS	
CONSERVATION FORMULATIONS: BASIN MIX: CONSERVE - LOW MAINTENANCE BASIN 50% TALL FESCUE 18% HARD FESCUE 10% PERENNIAL RYEGRASS 10% CREEPING RED FESCUE 6% WHITE CLOVER 6% REDTOP	CONSERVATION FORMULATIONS EMBANKMENTS: CONSERVE - H & DRY  55% TALL FESCUE 19% HARD FESCUE 10% SWITCHGRASS 10% PERENNIAL RYEGRASS 6% WHITE CLOVER		CONSERVATION FORMULATIONS: SWALES & LOWLANDS: CONSERVE - LOWLAND 54% TALL FESCUE 24% POA TRIVIALIS 10% PERENNIAL RYEGRASS 6% REDTOP 6% REED CANARYGRASS	
SEEDING RATE: 200 LBS PER ACRE	SEEDING RATI	E: 150 LBS PER ACRE	SEEDING RATE: 200 LBS PER ACRE	
SUPPLIED BY: F.M. BROWN'S SONS, INC. SINKING SPRING, PA,				

PHONE: 800-345-3344, FAX: 610-678-7023 WWW.FMBROWN.COM

#### **EROSION AND SEDIMENT** SEEPAGE BED NOTES THE SEEPAGE BED SHALL BE SETBACK A MINIMUM OF 12' FROM ALL STRUCTURES WITH SUB-GRADE ELEMENTS (IE. BASEMENTS AND FOUNDATION WALLS) CONTROL PLAN 2. EXCAVATION FOR THE INFILTRATION FACILITY SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT THE BOTTOM OF THE SEEPAGE BED/TRENCH, OR LIKE FACILITY.

THE SEEPAGE BED BOTTOM SHALL BE A MINIMUM OF 2' ABOVE THE SEASONAL HIGH WATER TABLE

3. THE TOP AND SIDES OF ALL SEEPAGE BEDS, TRENCHES, OR LIKE FACILITIES SHALL BE COVERED WITH

DRAINAGE FILTRATION FABRIC. FABRIC SHALL MEET THE SPECIFICATIONS OF PENNDOT PUBLICATION 408,

. THE SEEPAGE BED SHALL DEWATER WITHIN 24 HOURS AFTER THE 2 YEAR DESIGN STORM EVENT..

3. REPLACE A MINIMUM OF 12" OF TOPSOIL OVER GEOTEXTILE MATERIAL AND RE-VEGETATE.

5. ONLY CLEAN AGGREGATE, FREE OF FINES, SHALL BE ALLOWED

1. ALL ROOF LEADERS SHALL BE A MINIMUM OF 6" OR AS NOTED ON PLANS.

2. ALL SEEPAGE BED PERFORATED PIPE SHALL BE A MINIMUM OF 12"

AMEND SOIL AT A RATE OF 5%-15%. GREEN MANURE MAY NOT BE USED.

a. SUBSOILING IS ONLY EFFECTIVE WHEN PERFORMED ON DRY SOILS.

REPLACEMENT OF TOPSOIL AMENDMENT IN THE BMP.

.. VEGETATED SWALE, CONSTRUCTION SEQUENCE:

2. STABILIZE BMP PER PLAN SPECIFICATION AND DETAILS

ORGANIC MATTER CONTENT

ORGANIC PORTION

MOISTURE CONTENT

PARTICI F SIZE

SOLUBLE SALT CONCENTRATION

A. LIMESTONE - PULV. AG.. AT 6 TONS/ACRE

B. FERTILIZER - 100 LBS/AC N. 200 LBS/AC P205, 200 LBS/AC K20

BASED ON EROSION CONTROL & CONSERVATION PLANTING ON NONCROPLAND.

6 HYDROSEED IS NOT CONSIDERED STABILIZATION LINTIL IT GERMINATES

2. STABILIZED BMP PER PLAN SPECIFICATIONS AND DETAILS.

SECTION 735.

CONSTRUCTION CLASS

SOIL AMENDMENT NOTES:

SPECIFICATIONS AND DETAILS.

(8 INCHES FOR MINOR COMPACTION)

4. THE BOTTOM OF THE BED AND/OR TRENCH SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE

. PROVISIONS FOR THE COLLECTION OF DEBRIS IN ORDER TO PREVENT CLOGGING SHALL BE PROVIDED IN ALL

8. ALL ROOF DRAINS DISCHARGING TO THE INFILTRATION TRENCH SHALL HAVE DOWNSPOUT FILTERS INSTALLED

IO. BED BOTTOM AND HDPE PIPE SHOULD BE INSTALLED AT A LEVEL (0% GRADE) ELEVATION ON UNCOMPACTED.

UNDISTURBED SOIL AND THEN SCARIFIED. CARE SHALL BE TAKEN TO ENSURE TO COMPACTION EQUIPMENT, SEDIMENT, OR STONE DUST DOES NOT ENTER THE INFILTRATION PIT AS THIS COULD POTENTIALLY SEAL THE

SOIL AMENDMENT & RESTORATION CONSTRUCTION NOTES

SOIL AMENDMENT AND RESTORATION IS THE PROCESS OF RESTORING DISTURBED SOILS BY RESTORING SOIL

a. TREAT COMPACTED AREAS BY RIPPING / SUBSOILING / TILLING / SCARIFYING AS OUTLINED BELOW, PRIOR TO

b. DISTRIBUTE TOPSOIL AMENDMENT OVER INFILTRATION BMP. ON-SITE TOPSOIL WITH AN ORGANIC CONTENT O

AT LEAST 5 PERCENT CAN BE PROPERLY STOCKPILED AND USED. COMPOSTED MANURE SOLIDS MAY BE USED TO

. TREAT COMPACTED AREAS BY RIPPING / SUBSOILING / TILLING / SCARIFYING AS OUTLINED BELOW. PRIOR TO

b. DISTRIBUTE TOPSOIL WITH A HIGH ORGANIC CONTENT BACK WITHIN VEGETATED SWALES. ON-SITE TOPSOIL

WITH A CONTENT OF AT LEAST 5 PERCENT CAN BE PROPERLY STOCKPILED AND USE. STABILIZED BMP PER PLAN

3. TREATING COMPACTION BY RIPPING / SUBSOILING / TILLING / SCARIFICATION CONSTRUCTION SEQUENCE:

b. RIPPING. SUBSOILING. OR SCARIFICATION OF THE SUBSOIL SHOULD BE PERFORMED WHERE SUBSOIL HAS

2. RIPPING (SUBSOILING) SHOULD BE PERFORMED USING A SOLID-SHANK RIPPER AND TO A DEPTH OF 20 INCHES,

s. SUBSOILING SHOULD NOT BE PERFORMED WITH COMMON TILLAGE TOOLS SUCH AS A DISK OR CHISEL PLOW

TABLE 4.2: COMPOST STANDARDS

(FROM PA DEP E&S CONTROL MANUAL)

PERMANENT STABILIZATION CONSTRUCTION NOTES

OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE

PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR

EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

2. ALL TOPSOIL SHALL BE REPLACED AT A DEPTH OF AT LEAST 6" IN ORDER TO PROMOTE STORMWATER

INFILTRATION AND PERMANENT VEGETATIVE STABILIZATION ON ALL DISTURBED AREAS TO BE PERMANENTLY

3. ALL TOPSOIL SHALL BE LOOSENED TO A DEPTH OF AT LEAST 4". ALL OBJECTIONABLE MATERIAL LARGER THAN

4. CONTRACTOR SHALL PROVIDE SOIL TESTING PH BEFORE IMPLEMENTING PERMANENT SEEDING. LIMESTONE

5. MULCH OF LONG STEM STRAW SHALL BE APPLIED AT AN EVEN APPLICATION OF 3 TONS/ACRE WITH A SURFACE

COVERING OF 100%, MULCH SHALL BE EITHER MECHANICALLY STABILIZED OR STABILIZED BY USE OF A TACKIFIER.

AND FERTILIZER SHALL BE APPLIED UNIFORMLY TO AREAS TO BE SEEDED. AND WORKED INTO THE SOIL TO A

DEPTH OF 2". IN THE ABSENCE OF SOILS TESTING, APPLY LIMESTONE AND FERTILIZER PER THE APPLICATION

25% - 100% (DRY WEIGHT BASIS)

FIBROUS AND ELONGATED

30% - 50% PASS THROUGH 3/8" SIEVE

5.0 dS/m (mmhos/cm) MAXIMUM

BECOME COMPACTED BY EQUIPMENT OPERATION, DRIED OUT AND CRUSTED, OR WHERE NECESSARY TO

1. SHOULD BE PERFORMED BEFORE TOPSOIL AMENDMENT IS PLACED AND AFTER ANY EXCAVATION OF

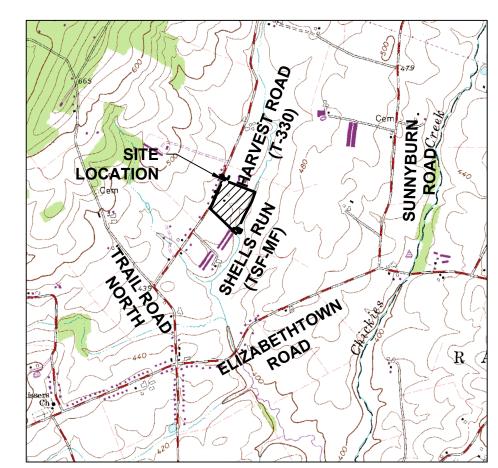
BECAUSE THEY ARE TOO SHALLOW AND CAN COMPACT THE SOIL JUST BENEATH THE TILLAGE DEPTH.

THE SOIL RESTORATION PROCESS MAY NEED TO BE REPEATED OVER TIME, DUE TO COMPACTION BY USE AND/OR SETTLING.

POROSITY BY PHYSICAL TREATMENT AND/OR ADDING A SOIL AMENDMENT, SUCH AS TOPSOIL, COMPOST OR

# **ELMER BEILER POULTRY BARN**

MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA



**LOCATION MAP** SCALE: 1" = 2000' (ELIZABETHTOWN, PENNSYLVANIA QUADRANGLE)

# OWNER OF THE PROPERTY RECEIVING THE FILL. POLICY "MANAGEMENT OF CLEAN FILL." TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE SHALL BE DONE;);) **TEMPORARY STABILIZATION** I. MULCH - CLEAN OAT OR WHEAT STRAW SHALL BE FREE FROM MATURE SEED- BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT 1947. APPLY AT A RATE OF 3. TON/ ACRE (HAY OR STRAW). MUI CH SHALL BE FITHER MECHANICALLY STABILIZED OR STABILIZED BY USE OF A TACKIFIER. FOR PROPER STABILIZATION DURING THE NON-GERMINATION PERIOD OF OCTOBER 15 TO MARCH 15, THE REQUIRED RATE IS 3 TONS PER ACRE. SEED MIXTURE SHALL BEAR A GUARANTEED STATEMENT OF ANALYSIS AND SHALL BE COMPOSED OF THE VARIETIES FOLLOWING AND MIXED IN THE PROPORTIONS SPECIFIED. <u>% BY WT.</u> <u>MIN. PURITY</u> <u>MIN. GERM.</u> ANNUAL RYEGRASS 100% 95% 90% . THREE PERCENT REDTOP MAY BE ADDED TO THE LAWN MIXTURE ON SLOPE AREAS OR FOR LATE SPRING OR 4. TEMPORARY SEEDING SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1,000) 5. ALL AREAS TO BE SEEDED SHALL BE LOOSENED TO A DEPTH OF AT LEAST TWO INCHES BY MECHANICAL MEANS AS APPROVED BY THE ENGINEER

6. MULCH SEEDED AREAS IMMEDIATELY AFTER SEEDING.

APPLICATION RATE SPECIFIED BELOW.

C. FERTILIZER - 10-10-10 ANALYSIS COMM.

A. LIMESTONE - PULV. AG.

B. \*LIMESTONE -50 LBS./1000 SF.

D. FERTILIZER - 11.5 LBS./1000 SF.

SOIL TO A DEPTH OF 2". IN THE ABSENCE OF SOILS TESTING, APPLY LIMESTONE AND FERTILIZER PER THE

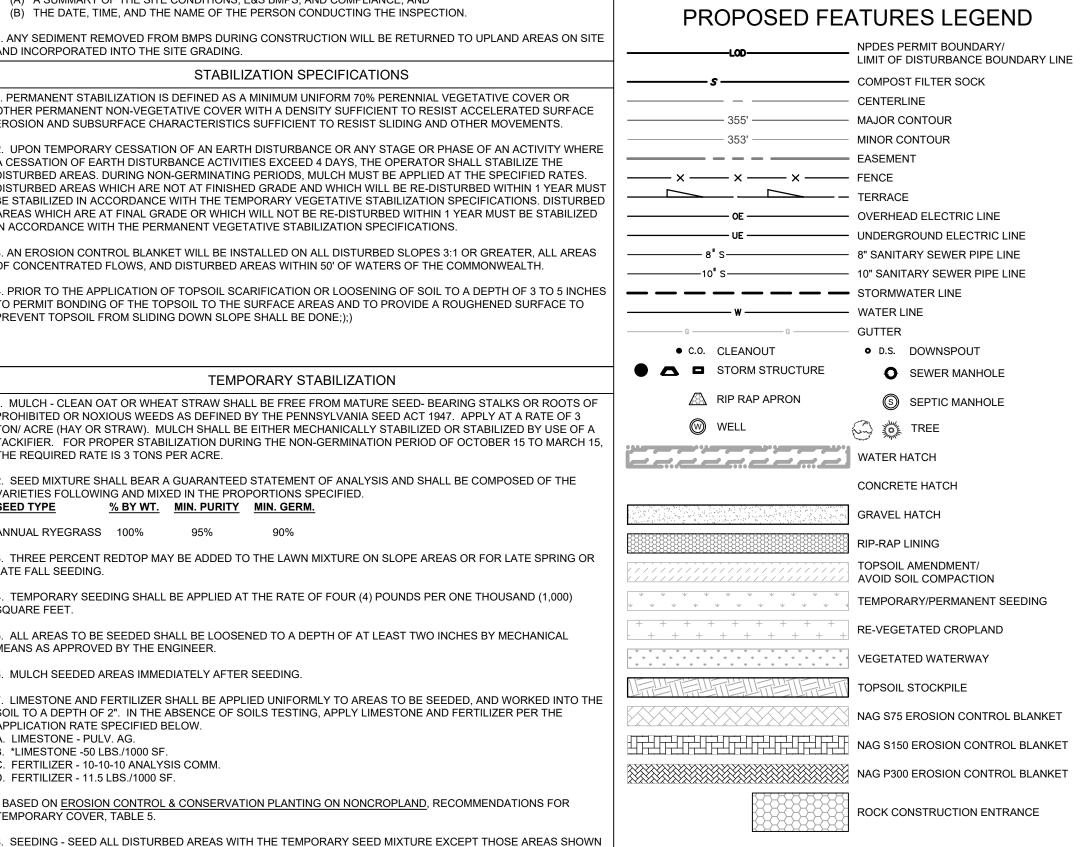
BASED ON EROSION CONTROL & CONSERVATION PLANTING ON NONCROPLAND, RECOMMENDATIONS FOR

TO BE SEEDED WITH CROWNVETCH, UNLESS NOTED OTHERWISE ON THE DRAWINGS.

9. HYDROSEED IS NOT CONSIDERED STABILIZATION UNTIL IT GERMINATES.

Pennsylvania Act 121 (2008) requires 3 working days notice from excavators who are about to Dig, Blast, Auger, Bore, Grade, Trench or Demolish anywhere in the Commonwealth. Contractor Shall Place A One-Call (1-800-242-1776) Prior to Construction. DESIGN SERIAL # 20250502344

#### **EXISTING FEATURES LEGEND** EROSION AND SEDIMENT CONTROL NOTES MUNICIPAL BOUNDARY TOPSOIL STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2:1 OR FLATTER 2. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT . ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP. SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED . ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1., AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND MAKE SURE THE EDGE OF WOODS SITE(S) RECEIVING THE EXCESS HAS AN APPROVED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE RAIL ROAD 6. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED - TERRACE TO BE REMOVED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.) OVERHEAD ELECTRICAL LINE . ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED - UE ----- UNDERGROUND ELECTRIC LINE SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE — — — — — — — — — — STORMWATER PIPE / CULVERT 3. ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED. WETLANDS BOUNDARY WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS. INVESTIGATIVE TECHNIQUES INCLUDING BUT NOT LIMITED TO VISUAL PROPERTY INSPECTIONS ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, <sup>→ L</sup> WETLANDS HATCH TO SEE THE PROPERTY OF THE PROPER ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL STREAM CENTERLINE INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS FLOODPLAIN HATCH CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S VEGETATED WATERWAY MAINTENANCE PROGRAM SLOPES 15% TO 25% I. UNTIL THE SITE IS STABILIZED. ALL EROSION AND SEDIMENT CONTROL BMPS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPS AFTER EACH SLOPES GREATER THAN 25% RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK. INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RESEEDING, RE-MULCHING AND RE-NETTING MUST BE UTILITY POLE BENCHMARK PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPS FAIL TO PERFORM AS EXPECTED. REPLACEMENT BMPS OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED. PROPERTY MARKER THE PERMITTEE AND CO-PERMITTEE MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY AND AFTER EACH MEASURABLE PRECIPITATION EVENT BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN SEPTIC STRUCTURE (TP#1) SOIL TEST LOCATION EROSION AND SEDIMENT CONTROL. TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL (E&S) BMPS ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION TO THE WATERS OF THE COMMONWEALTH. A WRITTEN (P-1A) SOIL PERCOLATION TEST LOCATION REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE: (A) A SUMMARY OF THE SITE CONDITIONS, E&S BMPS, AND COMPLIANCE: AND (B) THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION . ANY SEDIMENT REMOVED FROM BMPS DURING CONSTRUCTION WILL BE RETURNED TO UPLAND AREAS ON SITE STABILIZATION SPECIFICATIONS COMPOST FILTER SOCK . PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR THER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE MAJOR CONTOUR EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS. MINOR CONTOUR UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES EXCEED 4 DAYS. THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS, DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED — OF — OVERHEAD ELECTRIC LINE IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS. —— UE ———— UNDERGROUND ELECTRIC LINE . AN EROSION CONTROL BLANKET WILL BE INSTALLED ON ALL DISTURBED SLOPES 3:1 OR GREATER, ALL AREAS OF CONCENTRATED FLOWS, AND DISTURBED AREAS WITHIN 50' OF WATERS OF THE COMMONWEALTH. . PRIOR TO THE APPLICATION OF TOPSOIL SCARIFICATION OR LOOSENING OF SOIL TO A DEPTH OF 3 TO 5 INCHES $oldsymbol{|}$



## STANDARD PLAN ABBREVIATIONS

BC BOTTOM OF CURB ELEVATION BLDG BUILDING BMP BEST MANAGEMENT PRACTICE BOMHE BOTTOM OF MANHOLE ELEVATION MH MANHOLE BW BOTTOM OF WALL ELEVATION C.O. CLEANOUT CONC. CONCRETE CORR. CORRUGATED D.S. DOWNSPOUT ELEV. ELEVATION EX. EXISTING FFE FINISHED FLOOR ELEVATION HDPE HIGH DENSITY POLYETHYLENE HP HIGH POINT INV. IN INVERT ELEVATION INV. OUT INVERT OUT ELEVATION

LF LINEAR FEET

INT. INTERSECTION

MAX. MAXIMUM NAG NORTH AMERICAN GREEN PERF. PERFORATED

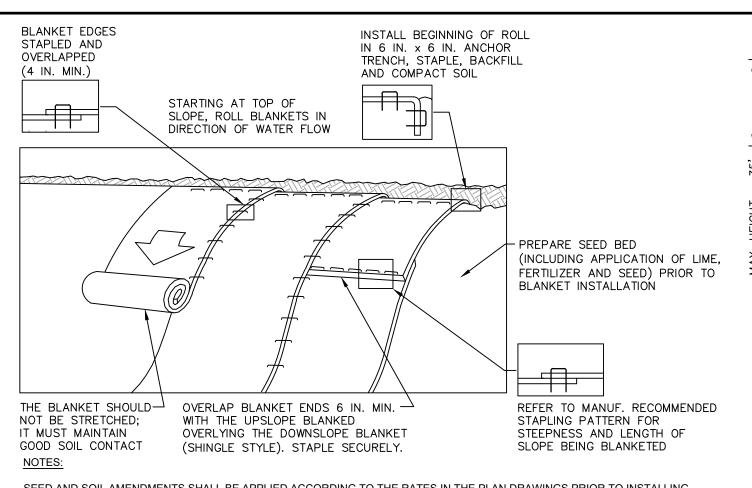
PSI POUNDS PER SQUARE INCH PVC POLYVINYL CHLORIDE SCH. SCHEDULE SGE SUBGRADE ELEVATION

SDR STANDARD DIAMETER RATIO SLCPP SMOOTH-LINED CORR. PLASTIC PIPE TC TOP OF CURB ELEVATION TE TOP ELEVATION TOMHE TOP OF MANHOLE ELEVATION TOW TOP OF WALL ELEVATION TYP. TYPICAL W/ WITH

DRAWN BY: CHECKED BY: DATE: 05/27/2025 PROJECT NO.: 20250527

**SHEET: 10** OF 14





SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

(1.35 STAPLES PER SQ. M)

For blankets with the optional North American

Green DOT SystemTM place staples/stakes

through each of the RED colored dots.

(4.1 STAPLES PER SQ. M)

Green DOT SystemTM place staples/stakes

through each of the WHITE colored dots.

For blankets with the optional North American

\*2"-5" (5cm-12.5cm)

BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL, DO NOT STRETCH BLANKET.

(2.0 STAPLES PER SQ. M)

For blankets with the optional North American

Green DOT SystemTM place staples/stakes

3.75 STAPLES PER SQ.

(4.5 STAPLES PER SQ. M)

For blankets with the optional North American

Green DOT SystemTM place staples/stakes through each of the YELLOW colored dots.

NOT TO SCALE

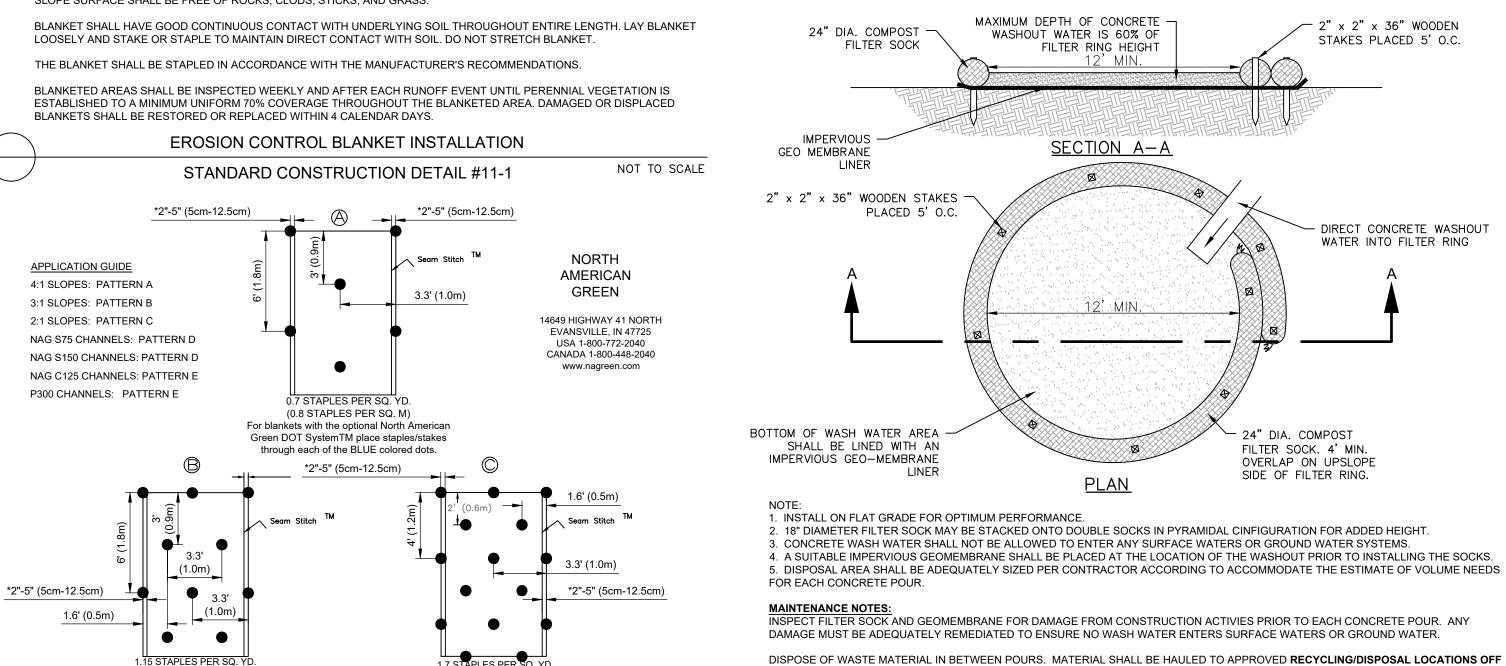
\*2"-5" (5cm-12.5cm)

\*Location of Seam Stitch will vary depending on North American Green product type:

STAPLE PATTERN GUIDE

through each of the GREEN colored dots.

10" (0.25m)



COMPOST FILTER SOCK - 2 IN. x 2 IN. WOODEN STAKES PLACED 10 FT ON CENTER BLOWN/PLACED -FILTER MEDIA (SEE NOTES) UNDISTURBED AREA DISTURBED AREA **ELEVATION** DISTURBED AREA COMPOST FILTER SOCK -2 IN. x 2 IN. WOODEN STAKES UNDISTURBED AREA PLACED 10 FT ON CENTER

TEMPORARY TOPSOIL STOCKPILE

TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE

STOCKPILE AREAS SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE SEDIMENT BARRIER

ALL STOCKPILE SEDIMENT BARRIER PROTECTION BMP'S SHALL REMAIN IN PLACE UNTIL TOPSOIL STOCKPILE AREAS HAVE

DAMAGED SEDIMENT BARRIERS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, PLAN DETAILS AND

TOPSOIL STOCKPILE AREAS WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE

PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE

STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET IN HEIGHT. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.

PROTECTION BMP'S, SUCH AS FILTER FABRIC FENCE, COMPOST FILTER SOCK OR SEDIMENT FILTER LOGS, SHALL BE

STOCKPILE SEDIMENT BARRIER PROTECTION BMP'S SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT.

FILTER SOCK CONCRETE WASH WATER DISPOSAL AREA

TEMPORARY TOPSOIL STOCKPILE

TEMPORARY TOPSOIL STOCKPILE

**ELEVATION** 

MAINTAINED IN ACCORDANCE WITH THE PLAN DETAILS AND SPECIFICATIONS.

SPECIFICATIONS, OR REPLACED WITHIN 24 HOURS OF INSPECTION.

TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS.

STABILIZED BY VEGETATION.

BEEN REMOVED.

FILTER FABRIC FENCE.

COMPOST FILTER SOCK, OR

SEDIMENT FILTER LOG (TYP.)

NOT TO SCALE

NOT TO SCALE

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

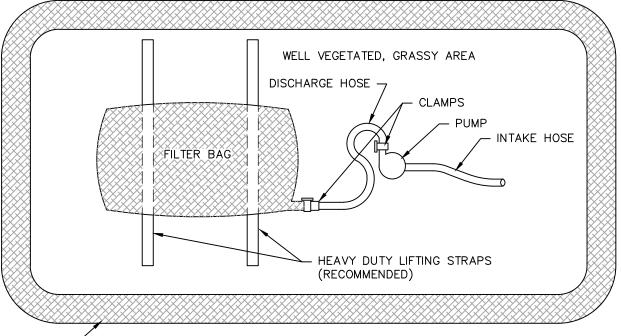
BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

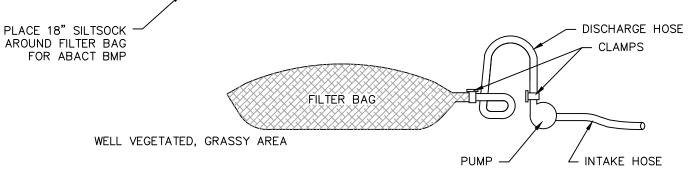
UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT. THE E&S MANUAL CALLS FOR COMPOST TO BE PLACED IN FRONT OF THE SOCK. THE DESIGN ENGINEER HAS NO OBJECTION TO ELIMINATING THIS REQUIREMENT. THE CONTRACTOR SHOULD SEEK APPROVAL OF THE CONSERVATION DISTRICT IN PRIOR TO ELIMINATING THIS REQUIREMENT.

TABLE 4.1 COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS							
MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPP)		
MATERIAL CHARACTERISTICS	PHOTO - DEGRADABLE	PHOTO - DEGRADABLE	BIO - DEGRADABLE	PHOTO - DEGRADABLE	PHOTO - DEGRADABLE		
SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"		
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"		
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI		
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.		100% AT 1000 HR.	100% AT 1000 HR.		
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS		
	TWO-PLY SYSTEMS						
		HDPE BIAXIAL NET					
INNER CONTAINMENT NETTING		CONTINUOUSLY WOUND					
		FUSION WELDED JUNCTURES					
		3/4" X 3/4" MAX. APERTURE SIZE					
OUTER FILTRATION MESH		COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)					
		3/16" MAX. APERTURE SIZE					
SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.							

TABLE 4.2: COMPOST STANDARDS			
ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)		
ORGANIC PORTION	FIBROUS & ELONGATED		
рН	5.5 - 8.0		
MOISTURE CONTENT	35% - 55%		
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN		
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAX		

COMPOST FILTER SOCK-ABACT NOT TO SCALE STANDARD CONSTRUCTION DETAIL #4-1





LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK

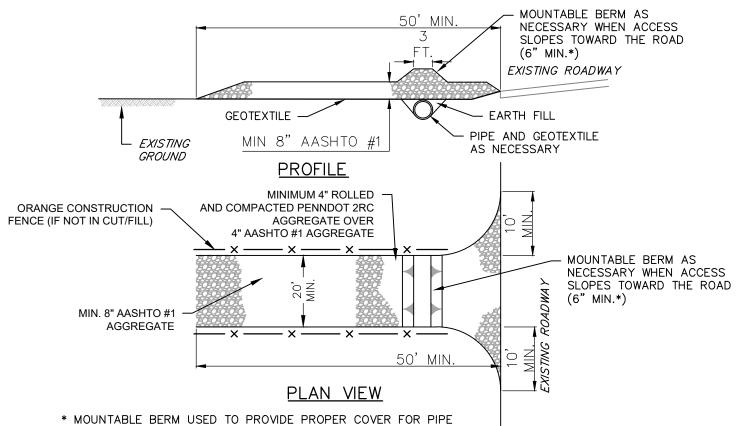
THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT



NOT TO SCALE



REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF

RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE. MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS

SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. THE MOUNTABLE BERM SHALL ALSO BE INSTALLED WHEN THE DRIVEWAY SLOPES TOWARD THE EXISTING ROADWAY TO PREVENT RUNOFF FROM ENTERING THE ROADWAY. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED

DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY. EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50

FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE

ROCK CONSTRUCTION ENTRANCE-ABACT

ONTROL DRAWN BY: CHECKED BY:

MHH

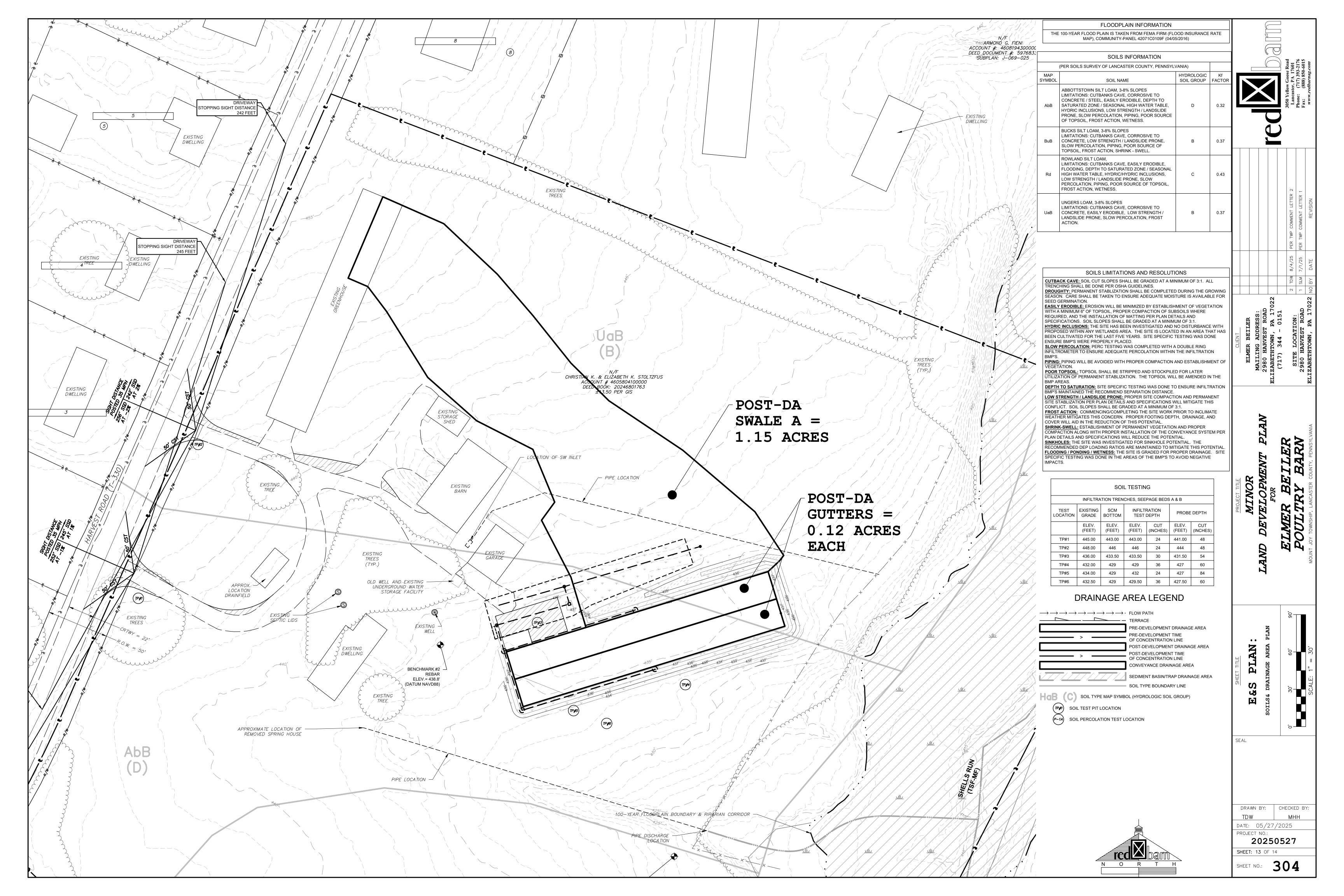
DATE: 05/27/2025

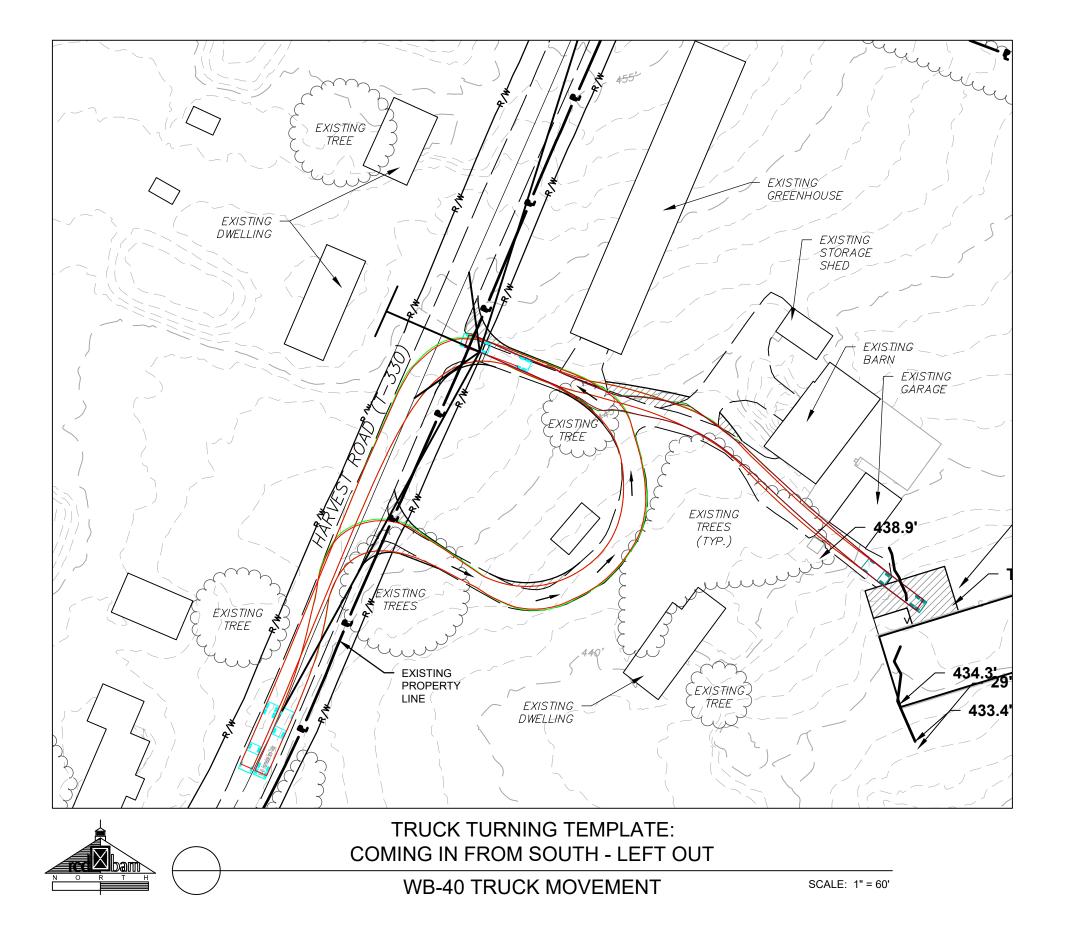
**SHEET: 12** OF 14

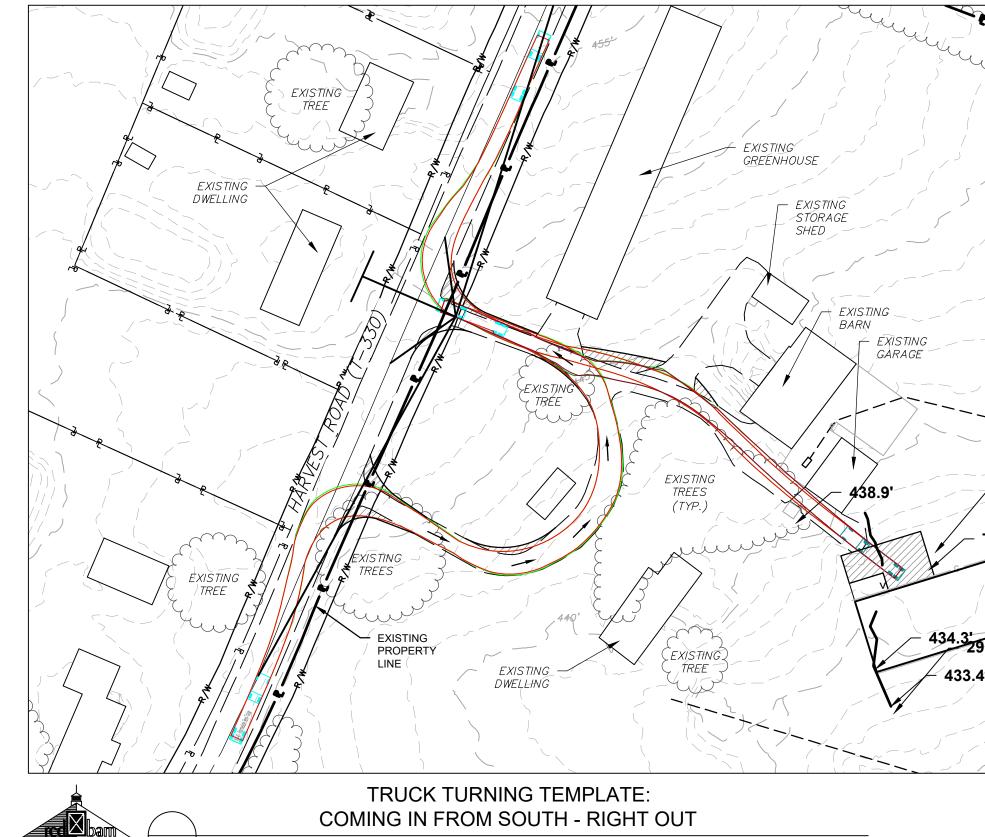
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DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE. NOT TO SCALE STANDARD CONSTRUCTION DETAIL #3-1







WB-40 TRUCK MOVEMENT

SCALE: 1" = 60'

LER

ACCESS

TRUCK

DRAWN BY: CHECKED BY:

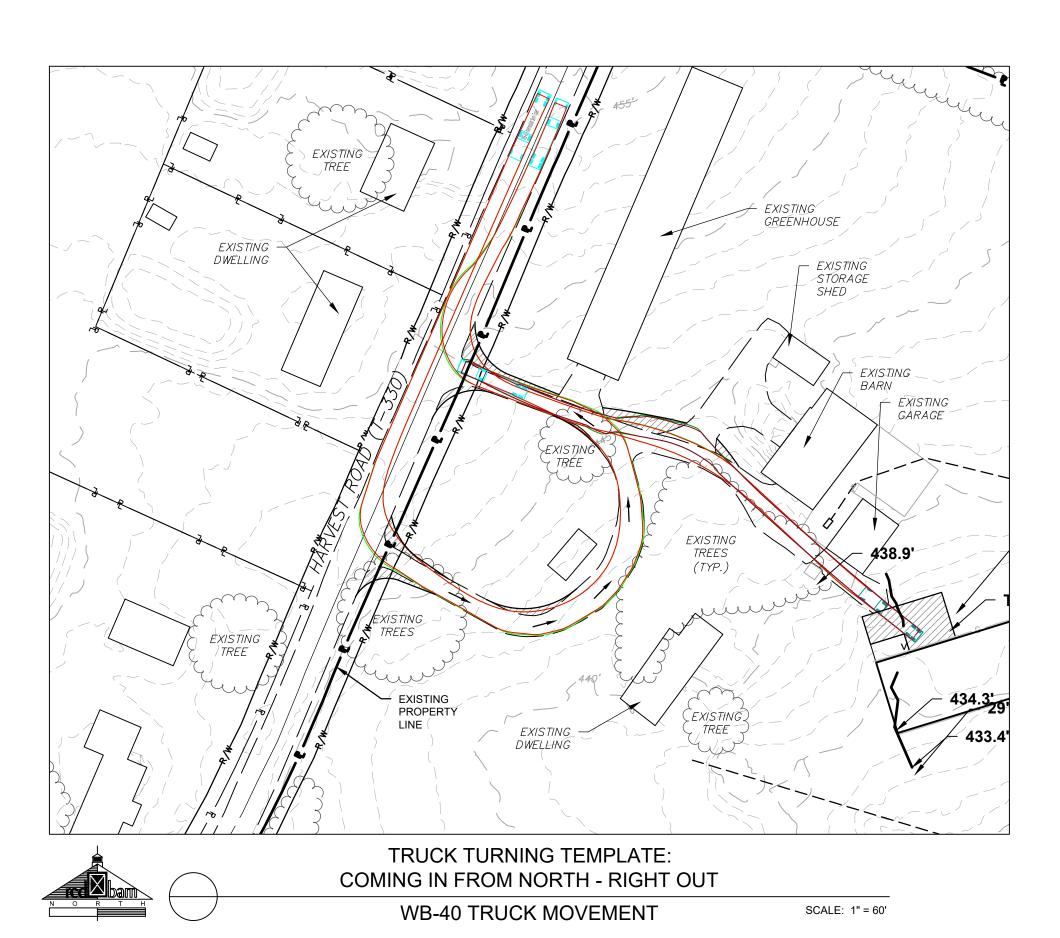
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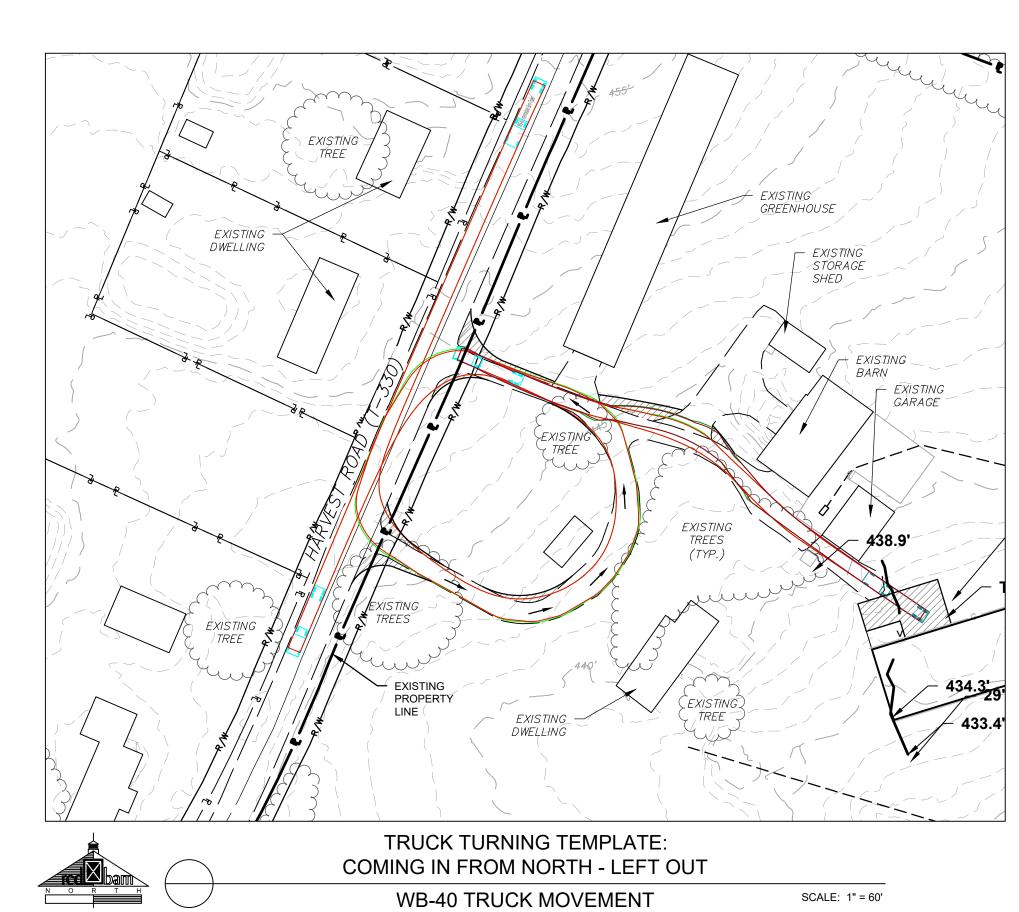
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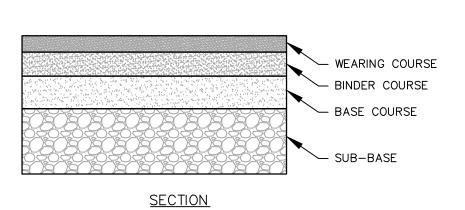
DATE: 05/27/2025

PROJECT NO.:

**SHEET: 14** OF 14







WEARING COURSE: SUPERPAVE ASPHALT MIXTURE DESIGN, HMA WEARING COURSE, PG 64S-22, 0.0 < 0.3 MILLION ESAL'S, 9.5MM MIX, SRL-L, 1.5" DEPTH;

BINDER COURSE: SUPERPAVE ASPHALT MIXTURE DESIGN, HMA BINDER COURSE, PG 64S-22, 0.0 < 0.3 MILLION ESAL'S, 19MM MIX, 3" DEPTH;

BASE COURSE: SUPERPAVE ASPHALT MIXTURE DESIGN, HMA BASE COURSE, PG 64S-22, 0.0 <0.3 MILLION ESAL'S, 19MM MIX, 3" DEPTH;

SUB-BASE: MODIFIED 2A AGGREGATE, 8" COMPACTED DEPTH

ASPHALT DRIVEWAY/LOADING AREA DETAIL

#### LAW OFFICES

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RANDALL K. MILLER

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> 1536 W MAIN STREET EPHRATA, PA 17522 717-733-2313

659 E WILLOW STREET ELIZABETHTOWN, PA 17022 717-361-8524

July 12, 2025

#### VIA EMAIL

Kimberly Kaufman, Township Manager Mount Joy Township 8853 Elizabethtown Road Elizabethtown, PA 17022

Re: Minor Land Development Plan for Elmer Beiler Poultry Barn

Our File No. 10221-1

Dear Kim:

I received the revised submission of the Minor Land Development Plan for Elmer Beiler Poultry Barn (the "Plan"). The name of the Plan was changed to respond to a comment by the Township Engineer. I previously prepared a Storm Water Management Agreement and Declaration of Easement and an Agreement Providing for Grant of Conservation Easement relating to the riparian buffer. I have updated those two documents to reflect the change in the name of the Plan, and I attach the revised documents. These drafts may be distinguished from the prior drafts by the draft date in the upper left-hand corner of the first page of each document.

The Storm Water Management Agreement requires an exhibit. Timothy Ward of Red Barn Consulting, Inc., forwarded the necessary exhibit to me. I have not attached it to the Storm Water Management Agreement but will do so after the document is fully executed and acknowledged and returned to me.

As requested, I have prepared the required developer's letter-agreement for the Plan, and I attach it for your review. The letter-agreement has instructions for completion at the end. When the cost estimate is approved, it must be attached as Exhibit A.

By copy of this letter I am providing these documents to Mr. Ward. He should have the documents which are to be recorded, i.e. the Storm Water Management Agreement and the Agreement Providing for Grant of Conservation Easement, signed by Christian K. Stoltzfus and Elizabeth K. Stoltzfus, the record owners of the Property. Elmer Beiler, the applicant, should sign the developer's letter-agreement. When this is done, he should deliver the original documents to the Township office. After they are fully executed and acknowledged, please return the Storm

Kimberly Kaufman, Township Manager July 12, 2025 Page 2

Water Management Agreement and the Agreement Providing for Grant of Conservation Easement to me for recording.

Very truly yours,

Josele Cleary

JC:sle MUNI\10221-1(7)\250710\71

#### Attachments

cc: Patricia J. Bailey, Township Secretary (via email; with attachments)

Joseph Price, Community Development Director/Zoning Officer (via email; with attachments)

Benjamin S. Craddock, P.E. (via email; with attachments)

Timothy Ward, EIT (via email; with attachments)

August 18, 2025

Kim Kaufman Township Manager Mount Joy Township 8853 Elizabethtown Road Elizabethtown, PA 17022

Via email: kkaufman@mtjoytwp.org

Re: 2980 Harvest Road (Elmer Beiler) Minor Land Development Plan Township Permit No. 25-08-MLDP

LCEC Project No: 25-197



Dear Mr. Kaufman.

We have received a minor land development plan submission from Red Barn Consulting, Inc. for the above-referenced project. The submission consisted of the following documents:

- Comment response letter dated August 4, 2025
- Minor Final Land Development Plan revised June 1, 2025
- Post-Construction Stormwater Management Report revised August 4, 2025
- Opinion of Probable Cost revised August 6, 2025

Based upon my review of the submitted information, I offer the following comments for the Township to consider:

#### **Zoning Ordinance**

- 1. Prior to the construction of an agricultural use, the landowner shall provide evidence from the Conservation District that a Conservation and Nutrient Management Plan is being implemented (135-212.D(1),(2),&(3)).
- 2. The applicant shall enter into a recordable agreement with the Township providing for the permanent maintenance of the riparian corridor, in a form acceptable to the Township Solicitor (135-306.F).

#### **Subdivision and Land Development Ordinance**

3. A preliminary plan is required (119-25). The applicant has requested a modification of this requirement.

Modification response: The applicant proposes to process this as a final plan which includes both preliminary and final plan requirements. This project is not phased and the proposed improvements are relatively simple in scope. Based on these considerations, I have no objection to this modification.

4. The plans shall be signed and sealed by a registered engineer, surveyor or landscape architect (119-31.A(5)).

- 5. The location and material of all permanent monuments and lot line markers shall be shown on the plans (119-31.D(14)(a) & 119-57.D). The applicant has requested a waiver of this requirement.
  - <u>Waiver response</u>: There is no proposed subdivision or proposed right-of-way as part of the project and there are no areas being dedicated to the Township. The subject parcel is greater than 10 acres. Therefore, the ordinance allows the parcel to be deed plotted instead of plotted by survey. Based on these considerations, I have no objections to a waiver of this requirement.
- 6. A wetlands study shall be provided (119-32.B & 119-34.E(3)(c)).
- 7. Written notice shall be provided from the DEP that approval of the sewer planning module has been granted or notice from the Department that such approval is not required (119-35.E(2)(a) & 119-60.A).
- 8. Written notices from the fire service provider that will serve as the primary responders for the land development shall be submitted indicating that the building layout is satisfactory and will not present any obstacles or other problems for emergency responders to the land development (119-35.E.(2)(h)). In addition, the designer shall provide written notice (i.e. emails, memo, etc.) received from MESA and Northwest Regional Police as indicated in the Emergency Responders Notes on the Cover Sheet.
- 9. A Stormwater Management Agreement and Declaration of Easement in a form acceptable to the Township Solicitor shall be executed and recorded (119-35.E(4)(c), 119-56.E & 113-62).
- 10. A land development agreement in a form acceptable to the Township Solicitor shall be executed (119-35.E(4)(f)).
- 11. All certificates shall be executed prior to final plan approval (119-37.D).
- 12. Financial security in the amount of \$55,146.10 shall be provided prior to final plan approval (113-60).
- 13. Three monuments shall be spaced around the proposed project, with at least two of the monuments places as consecutive corners along the street right-of-way (119-57.B). The applicant has requested a waiver of this requirement.
  - <u>Waiver response</u>: There is no proposed subdivision or proposed right-of-way as part of the project and there are no areas being dedicated to the Township. The subject parcel is greater than 10 acres. Therefore, the ordinance allows the parcel to be deed plotted instead of plotted by survey. Based on these considerations, I have no objections to a waiver of this requirement.
- 14. Lot line markers shall be set at all points where lot lines intersection curves, at all angles in property lines, at the intersection of all other property lines and at the street right-of-way (119-57.D). The applicant has requested a waiver of this requirement.
  - <u>Waiver response</u>: There is no proposed subdivision or proposed right-of-way as part of the project and there are no areas being dedicated to the Township. The subject parcel is greater than 10 acres. Therefore, the ordinance allows the parcel to be deed plotted instead of plotted by survey. Based on these considerations, I have no objections to a waiver of this requirement.
- 15. Any action taken on waiver requests, dates, and any conditions of approval shall be added to the cover sheet (119-91.C).

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#### **Stormwater Management Ordinance**

- 16. The landowner shall execute the final documents prior to final plan approval (113-41.B).
- 17. An operation and maintenance (O&M) agreement shall be provided and recorded with the final plan (113-62).

If you should have any questions or need additional information, please do not hesitate to contact me at <a href="mailto:bencraddock@lancastercivil.com">bencraddock@lancastercivil.com</a> or via telephone at 717-799-8599.

Sincerely,

Benjamin S. Craddock, PE, President

LANCASTER CIVIL

Bayamin S Caddock

cc: Justin Evans, Assistant Zoning Officer (via email)

Patricia Bailey, Township Secretary / Assistant Zoning Officer (via email)

Josele Cleary, Esquire, Township Solicitor (via email)

Tim Ward, EIT, Red Barn Consulting, Inc. (via email)

Molly Hughes, PE, Red Barn Consulting, Inc. (via email)

Keith Hunnings, Township SEO (via email)

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## FOR ELMER BEILER POULTRY BARN M.J.T.P.C. File # 25-08-MLDP

I move that the Township Planning Commission grant waivers of Chapter 119 of the Code of Ordinances of the Township of Mount Joy, i.e. the Mount Joy Township Subdivision and Land Development Ordinance as follows:

- a) §119-25 Preliminary Plan
- b) §119-31.D(14)(a) & §119-57.D Monuments & Lot Line Markers
- c) §119-57.B Monuments
- d) §119-57.D Lot Line Markers

And having granted such waivers, grant approval of the Minor Land Development Plan for Elmer Beiler Poultry Barn (the "Plan") prepared by Red Barn Ag, Drawing No. 20250527, dated May 27, 2025, subject to the following conditions:

- 1. Applicant shall provide comments on the proposed project from the Mastersonville Fire Department.
- 2. Applicant shall apply for and obtain all necessary permits prior to commencing any construction activities.
- 3. Applicant shall reimburse the Township for all reasonable engineering and legal fees incurred in the review of plans under the Subdivision and Land Development Ordinance, Storm Water Management Ordinance, and other governing ordinances; review or preparation of documentation required in connection with the development; review and approval of financial security and other documentation; inspection of improvements; and for other costs as set forth in these Conditions within 30 days after receipt of an invoice for such fees. If Applicant fails to pay such costs within 30 days after the date of a written invoice for such costs, Applicant shall be in violation of this Condition.

# ACCEPTANCE OF CONDITIONS UPON APPROVAL OF A MINOR LAND DEVELOPMENT PLAN IMPOSED BY THE PLANNING COMMISSION OF MOUNT JOY TOWNSHIP FOR

## ELMER BEILER POULTRY BARN M.J.T.P.C. File # 25-08-MLDP

I have reviewed the conditions imposed by the Planning Commission of Mount Joy Township, Lancaster County, Pennsylvania, at the meeting on August 25, 2025, upon the approval of the Minor Land Development Plan for Elmer Beiler Poultry Barn (the "Plan") prepared by Red Barn Ag, Drawing No. 20250527, dated May 27, 2025. In my capacity as developer/developer's agent and being authorized to do so, and intending to be legally bound, I hereby accept the imposition of the conditions attached hereto as part of the approval of the above-described subdivision and/or land development project. I expressly waive any requirements of the Pennsylvania Municipalities Planning Code that the Township provide a section number of a governing ordinance, statute or regulation upon which such conditions are based and a description of the requirements which have not been met. To the extent that any condition is not based upon a specific requirement of a governing ordinance, statute or regulation, I expressly waive any right which I may have to challenge the imposition of such condition. If signing as developer's agent, I expressly state that I have been authorized by developer to agree to the conditions imposed upon the approval of the above-described subdivision and/or land development application.

Date:	
	Signature
	Printed Name
	Title