

MINOR LAND DEVELOPMENT PLAN

FOR

ELMER BEILER

POULTRY BARN

MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

INDIVIDUAL ACKNOWLEDGEMENT COMMONWEALTH OF PENNSYLVANIA COUNTY OF LANCASTER CERTIFICATE OF OWNERSHIP AND ACKNOWLEDGEMENT OF PLAN

ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER PERSONALLY APPEARED _____ CHRISTIAN K. & ELIZABETH K. STOLTZFUS____, WHO, BEING DULY SWORN OR AFFIRMED, ACCORDING TO THE LAW, DEPOSES AND SAYS THAT HE IS THE _____ OF THE PROPERTY SHOWN ON THE PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS DIRECTION, THAT HE ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN, THAT HE DESIRES THE SAME TO BE RECORDED AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXPECTING THOSE AREAS LABELED NOT FOR DEDICATION) ARE HEREBY DEDICATED TO THE PUBLIC USE.

CHRISTIAN K. STOLTZFUS

ELIZABETH K. STOLTZFUS

NOTARY PUBLIC

MY COMMISSION EXPIRES _____, 20____

LANDOWNER STORMWATER MANAGEMENT ACKNOWLEDGMENT

I HEREBY ACKNOWLEDGE THAT, THE PROPOSED STORMWATER MANAGEMENT SYSTEM TO BE A PERMANENT FIXTURE THAT CAN ONLY BE ALTERED OR REMOVED AFTER APPROVAL OF A REVISED PLAN BY THE MUNICIPALITY.

_____, 20____

OWNER

OWNER

MOUNT JOY TOWNSHIP PLANNING COMMISSION FINAL PLAN APPROVAL

AT A MEETING ON _____, 20____, THE MOUNT JOY TOWNSHIP PLANNING COMMISSION APPROVED THIS PROJECT, INCLUDING THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE COMMISSION IN MOUNT JOY TOWNSHIP PLANNING COMMISSION FILE NO. _____ BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 119, SUBDIVISION AND LAND DEVELOPMENT. *

SIGNATURE OF THE CHAIRMAN OR THEIR DESIGNEE

SIGNATURE OF THE VICE CHAIRMAN OR THEIR DESIGNEE

MOUNT JOY TOWNSHIP SWM SITE PLAN APPROVAL CERTIFICATION

ON _____, 20____, _____ APPROVED THIS PROJECT, AND ALL CONDITIONS HAVE BEEN MET. THIS APPROVAL INCLUDES THE COMPLETE SET OF PLANS AND INFORMATION WHICH ARE FILED WITH THE PERMIT APPLICATION NO. _____ BASED UPON ITS CONFORMITY WITH THE STANDARDS OF CHAPTER 113, STORMWATER MANAGEMENT.

SIGNATURE OF THE ENFORCEMENT OFFICER

LANCASTER COUNTY PLANNING DEPARTMENT REVIEW CERTIFICATE

THIS PLAN, BEARING LCPC FILE NO. _____, WAS REVIEWED BY STAFF OF THE LANCASTER COUNTY PLANNING DEPARTMENT ON _____, AS REQUIRED BY THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE, ACT 247, OF 1989, AS AMENDED. THIS CERTIFICATE DOES NOT REPRESENT NOR GUARANTEE THAT THIS PLAN COMPLIES WITH THE VARIOUS ORDINANCES, RULES, REGULATIONS, OR LAWS OF THE LOCAL MUNICIPALITY, THE COMMONWEALTH, OR THE FEDERAL GOVERNMENT.

SIGNATURE OF THE CHAIRPERSON OR THEIR DESIGNEE

PROFESSIONAL ENGINEER CERTIFICATION

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE ENGINEERING DETAILS SHOWN AND DESCRIBED HEREON ARE TRUE AND CORRECT AND ARE DESIGNED IN CONFORMANCE WITH THE MOUNT JOY TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND IN ACCORDANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA.

_____, 20____

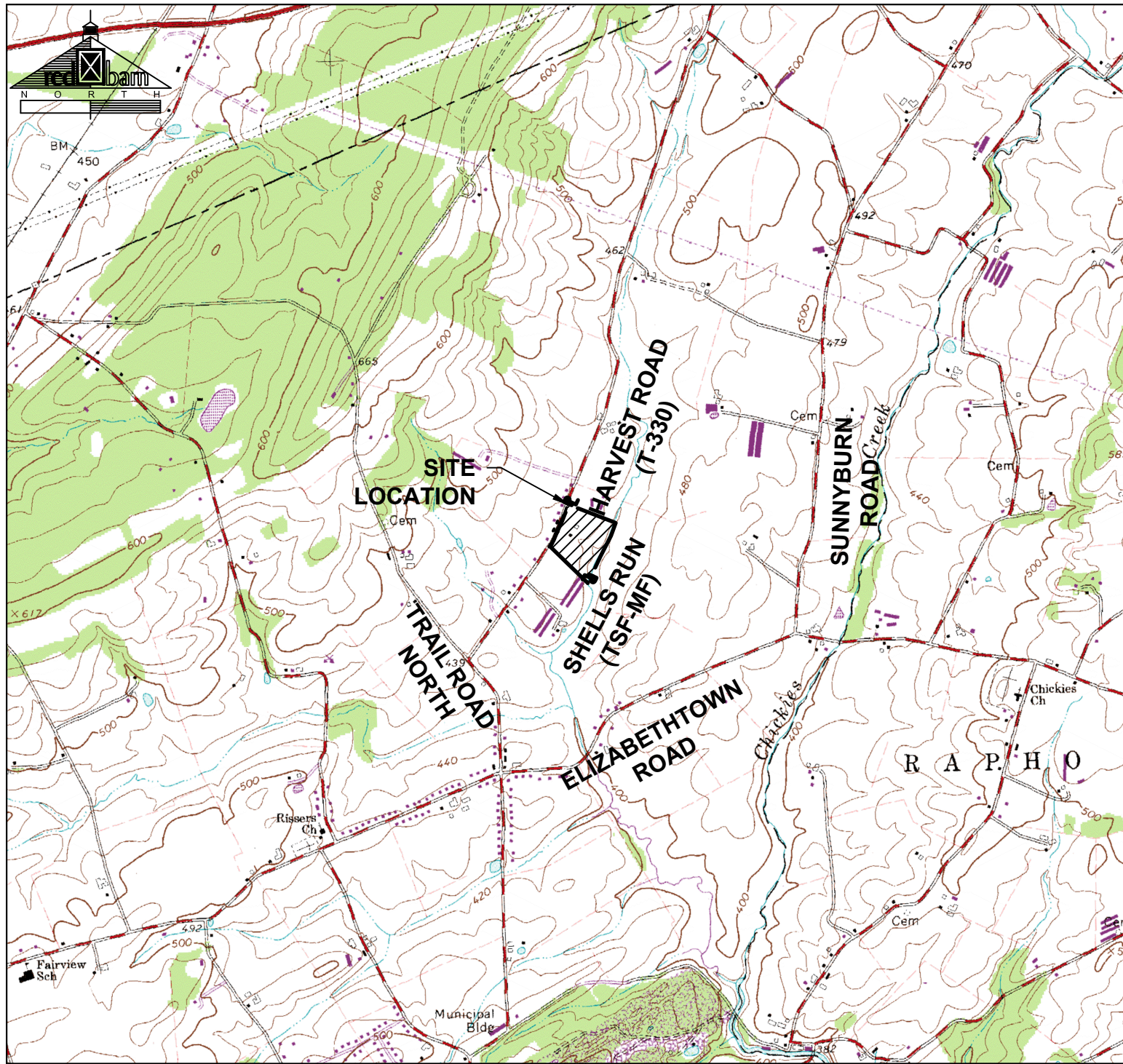
ENGINEER

UNDERLAIN GEOLOGY

I _____ CERTIFY THAT THE PROPOSED STORMWATER/BMP FACILITY IS NOT UNDERLAIN BY CARBONATE GEOLOGY.

ENGINEER

DRAWING INDEX	
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401	TRUCK ACCESS: TRUCK MOVEMENT PLAN



LOCATION MAP
SCALE: 1" = 2000'

ONE - CALL SYSTEM



Pennsylvania Act 121 (2008) requires 3 working days notice from excavators who are about to Dig, Blast, Auger, Bore, Grade, Trench or Demolish anywhere in the Commonwealth. Contractor Shall Place A One-Call (1-800-242-1776) Prior to Construction.

DESIGN SERIAL 20250502344

MODIFICATIONS AND WAIVERS REQUESTED	
THE FOLLOWING MODIFICATIONS OF THE SUBDIVISION AND LAND DEVELOPMENT ORDINANCE ARE REQUESTED:	
SECTION 119-25 - PRELIMINARY REVIEW PROCESS	
STATUS: _____ DATE: _____	
SECTION 119-31.D(14)(a) - GENERAL PLAN REQUIREMENTS	
STATUS: _____ DATE: _____	
SECTION 119-57.D - SURVEY MONUMENTS AND MARKERS	
STATUS: _____ DATE: _____	
SECTION 119-57.B - SURVEY MONUMENTS AND MARKERS	
STATUS: _____ DATE: _____	

EMERGENCY RESPONDERS NOTES	
MUNICIPAL EMERGENCY SERVICES AUTHORITY OF LANCASTER COUNTY (MESA) 1. ACCESS: MINIMAL VERTICAL CLEARANCE OF 12 FEET MUST BE MAINTAINED AT ALL TIMES ON ALL DRIVEWAYS.	
NORTHWEST REGIONAL POLICE 1. NO CONCERNS INVOLVING THE PROJECT.	
MASTERTSONVILLE FIRE DEPARTMENT 1. NO RESPONSE AS OF 07/15/2025.	

PRIOR PLAN IDENTIFICATION - SECTION 119-31.B(14)	
PRIOR PLANS ARE IDENTIFIED WITH PROPERTY IDENTIFICATION LABELS ON SHEET 102 FOR EACH PARCEL. NOTES OR RESTRICTIONS AFFECTING THE CURRENT DEVELOPMENT WERE NOT FOUND.	
THE IDENTIFIED PRIOR PLANS ARE COMPLETE AND CORRECT.	
PROFESSIONAL	

STORMWATER PLAN RECORDING - SECTION 113-58.C	
FOLLOWING APPROVAL OF THE AS-BUILT PLAN BY THE TOWNSHIP ENGINEER, THE APPLICANT SHALL SUBMIT THE SWM SITE PLAN FOR RECORDATION IN THE OFFICE OF THE RECORDER OF DEEDS	

PLANNING INFORMATION		PURPOSE OF PLAN	
PLANNING PROVIDED BY: RED BARN CONSULTING, INC. 3050 YELLOW GOOSE ROAD LANCASTER, PA 17601 717-393-2176		THE APPLICANT PROPOSES TO CONSTRUCT A NEW POULTRY BARN ALONG WITH DRIVEWAY IMPROVEMENTS. THE NEW IMPERVIOUS AREA WILL BE MAINTAINED BY TWO SEEPAGE BEDS. BOTH SEEPAGE BEDS WILL CAPTURE RUNOFF FROM THE BARN AND ANY NEARBY DRIVEWAY AREA. NEW DRIVEWAY IMPROVEMENTS ARE PROPOSED NEAR THE ENTRANCE TO HELP WITH TRUCK TURNING.	
SURVEY INFORMATION		OWNER	
TOPOGRAPHY PROVIDED BY: RED BARN CONSULTING, INC. 3050 YELLOW GOOSE ROAD LANCASTER, PA 17601 717-393-2176		CHRISTIAN K. & ELIZABETH K. STOLTZFUS	
A PROPERTY BOUNDARY SURVEY HAS NOT BEEN PERFORMED. THE PROPERTY BOUNDARY HAS BEEN SHOWN PER LANCASTER COUNTY GIS DATA.		SITE ADDRESS: 2980 HARVEST ROAD ELIZABETHTOWN, PA 17022 PHONE #:(717) 344 - 0151	MAILING ADDRESS: 3655 HARVEST ROAD ELIZABETHTOWN, PA 17022 PHONE#:(717) 344 - 0151
CLEAR SIGHT TRIANGLE		APPLICANT	
THERE SHALL BE PROVIDED AND MAINTAINED AT ALL INTERSECTIONS A CLEAR SIGHT TRIANGLE. NO STRUCTURES, LANDSCAPING OR GRADING MAY BE CONSTRUCTED, INSTALLED OR PERFORMED WITHIN THE AREA OF THE CLEAR SIGHT TRIANGLE WHICH WOULD OBSCURE THE VISION OF MOTORISTS.		ELMER BEILER MAILING ADDRESS: 2980 HARVEST ROAD ELIZABETHTOWN, PA 17022 PHONE #:(717) 344 - 0151	
STORMWATER MANAGEMENT AND DRAINAGE EASEMENT		SOURCE OF TITLE	
NO AREA IS OFFERED FOR DEDICATION TO THE PUBLIC. THE TOWNSHIP IS NOT RESPONSIBLE FOR MAINTENANCE OF ANY AREA NOT DEDICATED TO AND ACCEPTED FOR PUBLIC USE.		DEED BOOK 20246801763 (MAP PIN # 4605804 100000)	
MUNICIPAL AND COUNTY OFFICIALS AND THEIR AGENTS OR EMPLOYEES SHALL HAVE ACCESS TO ANY AND ALL DRAINAGE EASEMENTS AND/OR DRAINAGE FACILITIES AND SHALL HAVE THE RIGHT AT THEIR DISCRETION TO MAINTAIN OR REPAIR THE FACILITIES AS NECESSARY TO RESTORE THEM TO THE DESIGN CONDITIONS.		MOUNT JOY TOWNSHIP ORDINANCES 1. ZONING - ADOPTED DATE: (11/20/1990, AMENDED 07/21/2015) 2. SUBDIVISION AND LAND DEVELOPMENT - ADOPTED DATE: (2/15/2000) 3. STORMWATER MANAGEMENT - ADOPTED DATE: (6/17/2014)	
A MINIMUM THIRTY (30) FOOT WIDE ACCESS EASEMENT SHALL BE PROVIDED AROUND ALL STORMWATER MANAGEMENT FACILITIES THAT WOULD PROVIDE INGRESS FROM AND EGRESS TO A PUBLIC RIGHT-OF-WAY.		TOWNSHIP ZONING / SETBACK DATA	
NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.		ZONING	AGRICULTURAL DISTRICT (A)
NO EXISTING RECORDED STORM WATER MANAGEMENT AGREEMENTS AFFECTING THE SUBJECT PROPERTY HAVE BEEN IDENTIFIED RESEARCH.		MINIMUM LOT AREA	25 ACRES - SECTION 135-85.C (3)
GEOLOGY		MINIMUM LOT WIDTH	100 FEET - SECTION 135-85.D
THE SITE IS NOT UNDERLAIN WITH KARST GEOLOGY. PER eMAP, THE SITE GEOLOGY CONTAINS THE (Tm) NEW OXFORD FORMATION CONTAINING: LITH 1 = ARKOSIC SANDSTONE; LITH 2 = SHALE; LITH 3 = MUDSTONE; SANDSTONE		MINIMUM LOT DEPTH	150 FEET - SECTION 135-85.E
STREAM CLASSIFICATION		FRONT YARD	50 FEET - SECTION 135-85.F
THE SITE HAS A STREAM ON SITE AND DRAINS TO SHELLS RUN, WHICH IS CLASSIFIED AS A TROUT STOCKING FISHERY WITH A MIGRATORY FISH DESIGNATION (TSF-MF).		SIDE YARD	20 FEET - SECTION 135-85.G
NATURAL TROUT REPRODUCTION		REAR YARD	50 FEET - SECTION 135-85.H
FLOODPLAIN INFORMATION		MANURE STORAGE SETBACK	200 FEET - ACT 39
THE SHELLS RUN IS NOT CLASSIFIED AS A WILD TROUT STREAM SUSTAINING NATURAL REPRODUCTION.		MAXIMUM HEIGHT (ACCESSORY BUILDINGS)	35 FEET - SECTION 135-85.A
THE 100-YEAR FLOOD PLAIN IS TAKEN FROM FEMA FIRM (FLOOD INSURANCE RATE MAP), COMMUNITY-PANEL 420710109F (04/05/2016)		MAXIMUM BUILDING COVERAGE	20%
HYDRIC SOILS ON SITE PER NRCS WSS		MAXIMUM IMPERVIOUS COVERAGE	25%
ABB - ABBOTTSTOWN SILT LOAM, 3-8% SLOPES RD - ROWLAND SILT LOAM		PER 135-212. AGRICULTURAL FACILITIES A. POULTRY FACILITIES (1) POULTRY HOUSES... SHALL NOT BE LOCATED CLOSER THAN 300 FEET TO ALL EXISTING DWELLING UNITS OTHER THAN THE DWELLING UNIT OWNED BY THE PERSON CONDUCTING THE POULTRY FACILITY. A PROPERLY DESIGNED TURNAROUND FACILITY SHALL BE PROVIDED IN ORDER THAT VEHICLES LEAVING THE PROPERTY CAN ENTER ONTO THE ROADWAY FRONT FIRST.	
WETLANDS		PER 135-85.C (9) - LOT AREA REQUIREMENTS: THE MINIMUM LOT SIZE FOR ANY AGRICULTURAL USE SHALL BE 25 ACRES, PROVIDED, HOWEVER, THAT ANY AGRICULTURAL USE THAT HAS BEEN LAWFULLY ESTABLISHED AS OF THE EFFECTIVE DATE OF THIS CHAPTER (05/21/2012) ON A SMALLER LOT SHALL BE AUTHORIZED TO CONTINUE AS A USE PERMITTED BY RIGHT AND MAY EXPAND THE USE BY RIGHT, PROVIDED SUCH EXPANSION WILL MEET ALL OTHER REQUIREMENTS OF THIS CHAPTER...	
CONTRACTOR CERTIFICATE NOTE		SITE DATA	
UPON COMPLETION OF CONSTRUCTION, THE EXCAVATION CONTRACTOR SHALL PROVIDE THE TOWNSHIP WITHIN 30 DAYS, C) THE PAYMENT OF ROLL-BACK TAXES, PLUS INTEREST, FOR THE PERIOD OF ENCUMBRANCE, OR A PERIOD NOT TO EXCEED SEVEN YEARS, WHICHEVER IS LESS, MAY BE REQUIRED. D) IF THE PROPERTY OWNER FAILS TO NOTIFY THE COUNTY ASSESSOR WITHIN THE THIRTY-DAY PERIOD, PRIOR TO LAND CONVEYANCE, THE PROPERTY OWNER MAY BE SUBJECT TO A CIVIL PENALTY OF \$100; E) IF THE PROPERTY OWNER FAILS TO PAY THE ROLL-BACK TAX, A MUNICIPAL LIEN COULD BE PLACED ON THE PROPERTY UNDER EXISTING DELINQUENT TAX LAW.		EXISTING USE	AGRICULTURAL / RESIDENTIAL
AGRICULTURAL NUISANCE DISCLAIMER		PROPOSED USE	AGRICULTURAL
ALL LANDS WITHIN THE AGRICULTURAL ZONING DISTRICT ARE LOCATED WITHIN AN AREA WHERE LAND IS USED FOR COMMERCIAL AGRICULTURAL PRODUCTION. OWNERS, RESIDENTS, AND OTHER USERS OF ANY PORTION OF THIS PROPERTY MAY BE SUBJECT TO INCONVENIENCE, DISCOMFORT AND THE POSSIBILITY OF INJURY TO PROPERTY AND HEALTH ARISING FROM NORMAL AND ACCEPTED AGRICULTURAL PRACTICES AND OPERATIONS INCLUDING BUT NOT LIMITED TO NOISE, ODORS, DUST, THE OPERATION OF MACHINERY OF ANY KIND INCLUDING AIRCRAFT, THE STORAGE AND DISPOSAL OF MANURE, THE APPLICATION OF FERTILIZERS, SOIL AMENDMENTS, HERBICIDES AND PESTICIDES. OWNERS, OCCUPANTS, AND USERS OF ANY PORTION OF THIS PROPERTY SHOULD BE PREPARED TO ACCEPT THESE CONDITIONS (SUCH INCONVENIENCES, DISCOMFORT, AND POSSIBILITY OF INJURY FROM NORMAL AGRICULTURAL OPERATIONS) AND ARE HEREBY PUT ON OFFICIAL NOTICE THAT SECTION 4 OF THE PENNSYLVANIA ACT 133 OF 1982 "THE RIGHT TO FARM LAW" MAY BAR THEM FROM OBTAINING A LEGAL JUDGEMENT AGAINST SUCH NORMAL AGRICULTURAL OPERATIONS.		ACCESSORY USE	NONE
CLEAN AND GREEN		NUMBER OF LOTS	1
NOTICE: ACCORDING TO COUNTY RECORDS, THE SUBJECT PROPERTY MAY BE SUBJECT TO THE PENNSYLVANIA FARMLAND AND FOREST LAND ASSESSMENT ACT OF 1974 (A.K.A. THE CLEAN AND GREEN ACT), ACT 319 OF 1974, P.L. 973, 72 P.S. § 5490.1, AS AMENDED, AND AS FURTHER AMENDED BY ACT 158 OF 1998. AS AMENDED, THESE ACTS PROVIDE FOR PREFERENTIAL PROPERTY TAX ASSESSMENT AND TREATMENT. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO BE AWARE OF THE LAWS, RULES AND REGULATIONS APPLICABLE TO HIS OR HER PROPERTY, INCLUDING THE PROVISION THAT: A) PREFERENTIAL PROPERTY TAX ASSESSMENT AND TREATMENT WILL REMAIN IN EFFECT CONTINUOUSLY UNTIL THE LANDOWNER CHANGES THE AGRICULTURAL USE FROM THE APPROVED CATEGORY, OR IF A TRANSFER, SPLIT-OFF OR SEPARATION OF THE SUBJECT LAND OCCURS; B) IF A CHANGE OF USE OR A CONVEYANCE, TRANSFER, SEPARATION, SPLIT-OFF OR SUBDIVISION OF THE SUBJECT LAND OCCURS, THE PROPERTY OWNER WILL BE RESPONSIBLE FOR NOTIFYING THE COUNTY ASSESSOR WITHIN 30 DAYS; C) THE PAYMENT OF ROLL-BACK TAXES, PLUS INTEREST, FOR THE PERIOD OF ENCUMBRANCE, OR A PERIOD NOT TO EXCEED SEVEN YEARS, WHICHEVER IS LESS, MAY BE REQUIRED. D) IF THE PROPERTY OWNER FAILS TO NOTIFY THE COUNTY ASSESSOR WITHIN THE THIRTY-DAY PERIOD, PRIOR TO LAND CONVEYANCE, THE PROPERTY OWNER MAY BE SUBJECT TO A CIVIL PENALTY OF \$100; E) IF THE PROPERTY OWNER FAILS TO PAY THE ROLL-BACK TAX, A MUNICIPAL LIEN COULD BE PLACED ON THE PROPERTY UNDER EXISTING DELINQUENT TAX LAW.		UNIT OF OCCUPANCY	1 (SINGLE FAMILY, DETACHED)
TOWNSHIP INSPECTION NOTE		UNIT OF OCCUPANCY DENSITY	0.08
THE TOWNSHIP SHALL HAVE THE RIGHT OF ENTRY FOR THE PURPOSES OF INSPECTION ALL STORMWATER CONVEYANCE, TREATMENT, OR STORAGE FACILITIES.		GROSS LOT AREA	13.50 ACRES (PER ASSESSMENT OR DEED)
MINIMUM PARKING REQUIREMENTS		NET LOT AREA	13.10 ACRES (PER GIS)
2 PARKING SPACES ARE PROVIDED TO MEET THE REQUIREMENT FOR A SINGLE FAMILY DWELLING IN THE AGRICULTURAL ZONE.		EXISTING BUILDING COVERAGE (%)	2.21%
PARENT TRACT IDENTIFICATION		EXISTING IMPERVIOUS COVERAGE (%)	4.64%
PRIOR SUBDIVISION PLANS WERE FOUND FOR THE ADJOINING PARCELS; HOWEVER, A SUBDIVISION PLAN FOR THE SUBJECT LOT COULD NOT BE FOUND IN DEED RESEARCH AT LANCASTER COUNTY RECORDER OF DEEDS ONLINE SEARCH. THE ADDRESS 3028 HARVEST RD, OWNER ARMOND G. FIENL, DEED NUMBER 5978833, IS BELIEVED TO BE THE PARENT TRACT.		PROPOSED BUILDING COVERAGE (%)	3.93%
EXPECTED PROJECT SCHEDULE		PROPOSED IMPERVIOUS COVERAGE (%)	6.89%
START OF CONSTRUCTION: FALL 2025 END OF CONSTRUCTION: SPRING 2026		EXISTING IMPERVIOUS AREA (SQ. FT.)	
AS-BUILT RECORD PLANS		EXISTING BUILDINGS	13008
AFTER COMPLETION OF THE REQUIRED IMPROVEMENTS AND PRIOR TO RELEASE OF THE FINAL ESCROW, THE OWNER SHALL SUBMIT AND OBTAIN TOWNSHIP ENGINEER APPROVAL OF THE AS-BUILT PLAN FOR THE STORMWATER MANAGEMENT FACILITIES.		EXISTING GRAVEL/ DRIVEWAYS	11577
		EXISTING CONCRETE	2688
		OTHER EXISTING IMPERVIOUS AREAS	0
		TOTAL IMPERVIOUS AREA (SQ. FT.)	27273
		LOT SIZE (SQ. FT.)	588060
		NEW BUILDINGS	10120
		NEW GRAVEL/ DRIVEWAYS	2840
		NEW CONCRETE	264
		OTHER NEW IMPERVIOUS AREAS	0
		TOTAL PROPOSED IMPERVIOUS AREA (SQ. FT.)	13224

EXISTING FEATURES LEGEND	
	ADJOINER PROPERTY LINE
	PROPERTY LINE
	RIGHT-OF-WAY
	SETBACK LINE
	EASEMENT LINE
	MUNICIPAL BOUNDARY
	ZONING BOUNDARY
	SOIL BOUNDARY
	ROAD CENTERLINE
	EDGE OF PAVEMENT
	EDGE OF DRIVEWAY/FIELD LANE
	FENCE
	BUILDING
	CONCRETE
	CONCRETE WALL
	EDGE OF WOODS
	RAIL ROAD
	MINOR CONTOUR
	MAJOR CONTOUR
	TERRACE
	TERRACE TO BE REMOVED
	OVERHEAD ELECTRICAL LINE
	UNDERGROUND ELECTRIC LINE
	SANITARY SEWER PIPE
	STORMWATER PIPE / CULVERT
	WATER LINE
	WETLANDS BOUNDARY
	WETLANDS HATCH
	STREAM CENTERLINE
	FLOODPLAIN BOUNDARY
	FLOODPLAIN HATCH
	VEGETATED WATERWAY
	SLOPES 15% TO 25%
	SLOPES GREATER THAN 25%
	BENCHMARK
	PROPERTY MARKER
	SEPTIC STRUCTURE
	STORM RISER PIPE
	WELL
	SOIL TEST LOCATION
	SOIL PERCOLATION TEST LOCATION

PROPOSED FEATURES LEGEND	
	NPDES PERMIT BOUNDARY/ LIMIT OF DISTURBANCE BOUNDARY LINE
	COMPOST FILTER SOCK
	CENTERLINE
	MAJOR CONTOUR
	MINOR CONTOUR
	EASEMENT
	TERRACE
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	8" SANITARY SEWER PIPE LINE
	10" SANITARY SEWER PIPE LINE
	STORMWATER LINE
	WATER LINE
	GUTTER
	CLEANOUT
	STORM STRUCTURE
	RIP RAP APRON
	WELL
	TREE
	WATER HATCH
	CONCRETE HATCH
	GRAVEL HATCH
	RIP-RAP LINING
	TOPSOIL AMENDMENT/ AVOID SOIL COMPACTION
	TEMPORARY/PERMANENT SEEDING
	RE-VEGETATED CROPLAND
	VEGETATED WATERWAY
	TOPSOIL STOCKPILE
	NAG S75 EROSION CONTROL BLANKET
	NAG S150 EROSION CONTROL BLANKET
	NAG P300 EROSION CONTROL BLANKET
	ROCK CONSTRUCTION ENTRANCE

STANDARD PLAN ABBREVIATIONS	
BC BOTTOM OF CURB ELEVATION	LP LOW POINT
BLDG BUILDING	MAX. MAXIMUM
BMP BEST MANAGEMENT PRACTICE	MIN. MINIMUM
BOMHE BOTTOM OF MANHOLE ELEVATION	MH MANHOLE
BW BOTTOM OF WALL ELEVATION	NAG NORTH AMERICAN GREEN
C.O. CLEANOUT	PERF. PERFORATED
CONC. CONCRETE	PSI POUNDS PER SQUARE INCH
CORR. CORRUGATED	PVC POLYVINYL CHLORIDE
D.S. DOWNSPOUT	SCH. SCHEDULE
ELEV. ELEVATION	SGE SUBGRADE ELEVATION
EX. EXISTING	SDR STANDARD DIAMETER RATIO
FFE FINISHED FLOOR ELEVATION	SLCCP SMOOTH-LINED CORR. PLASTIC PIPE
HDPE HIGH DENSITY POLYETHYLENE	TC TOP OF CURB ELEVATION
HP HIGH POINT	TE TOP ELEVATION
INV. IN INVERT ELEVATION	TMH TOP OF MANHOLE ELEVATION
INV. OUT INVERT OUT ELEVATION	TOW TOP OF WALL ELEVATION
INT. INTERSECTION	Typ. TYPICAL
LF LINEAR FEET	W/ WITH

3050 Yellow Goose Road
Lancaster, PA 17601
Phone: (717) 393-2176
Fax: (888) 850-4015
www.redbarn.com

CLIENT

ELMER BEILER
MAILING ADDRESS:
2980 HARVEST ROAD
ELIZABETHTOWN, PA 17022
(717) 344 - 0151

PROJECT TITLE

MINOR LAND DEVELOPMENT PLAN FOR ELMER BEILER POULTRY BARN

SHEET TITLE

COVER SHEET

SCALE: AS NOTED

SEAL

DRAWN BY: TDW
CHECKED BY: MHH

DATE: 05/27/2025

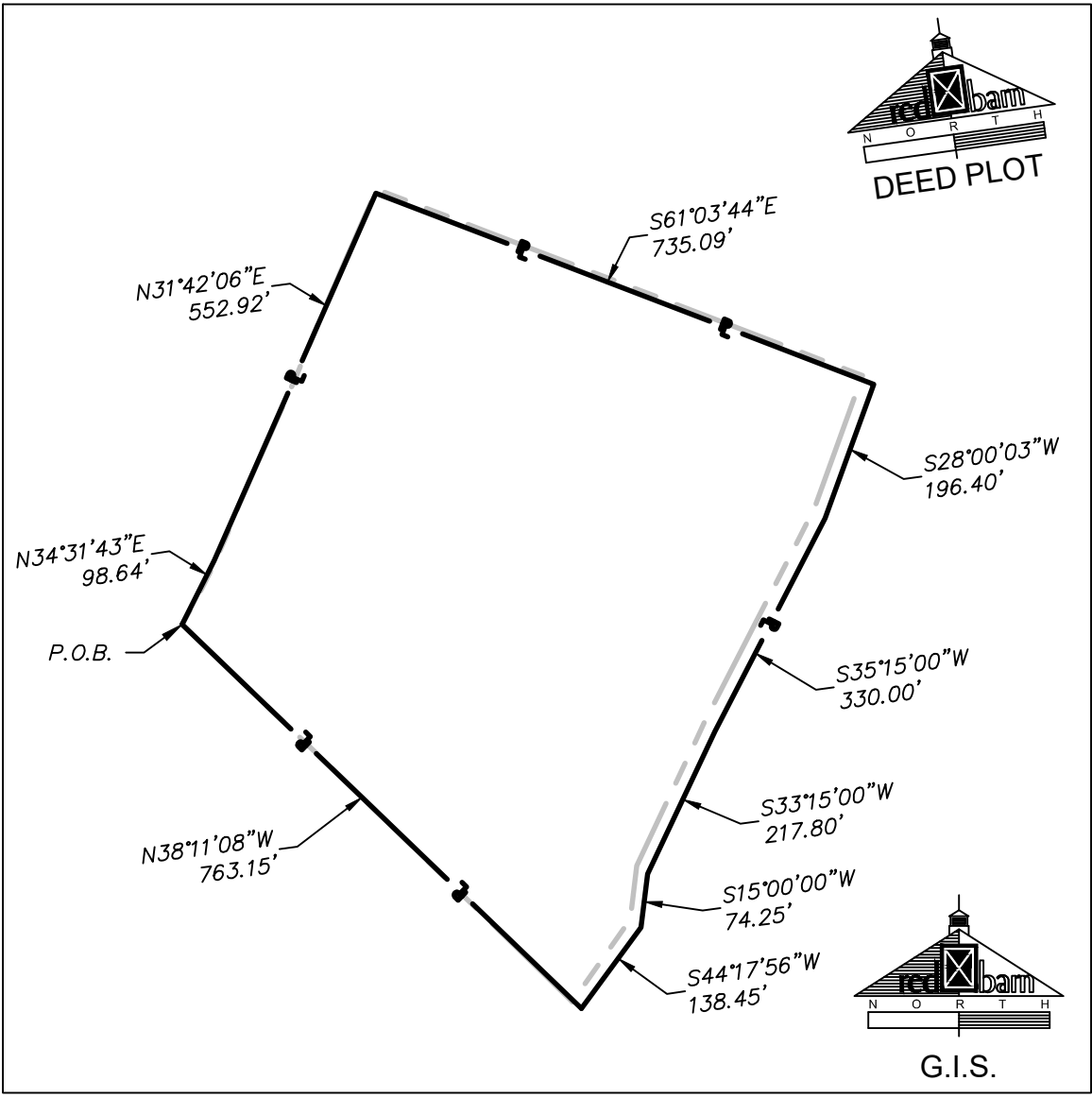
PROJECT NO.: 20250527

SHEET: 01 OF 14

SHEET NO.: 101



	TITLE HOLDER	ACCOUNT #	DEED REFERENCE	SUBPLAN
1	RODNEY L. MULHOLLEM	4609539100000	05613793	J-173-114
2	LUKE N. QUICKEL	4600507100000	5176834	J-064-053
3	BRIDGITTE LOVE LUTTMAN	4601571800000	6667661	J-064-053
4	DANIEL J. GRAYBILL	4602002000000	5969334	J-064-053
5	THOMAS C. & SUSAN M. VIA	4602432100000	U 940104	J-064-053
6	JARED M. BRANDT	4602872200000	6377040	J-064-053
7	THOMAS F. & DIANNA L. CAMPBELL	4603352300000	F-661030	J-064-053
8	WAYNE P. HEARD	4605050100000	6285732	J-182-060

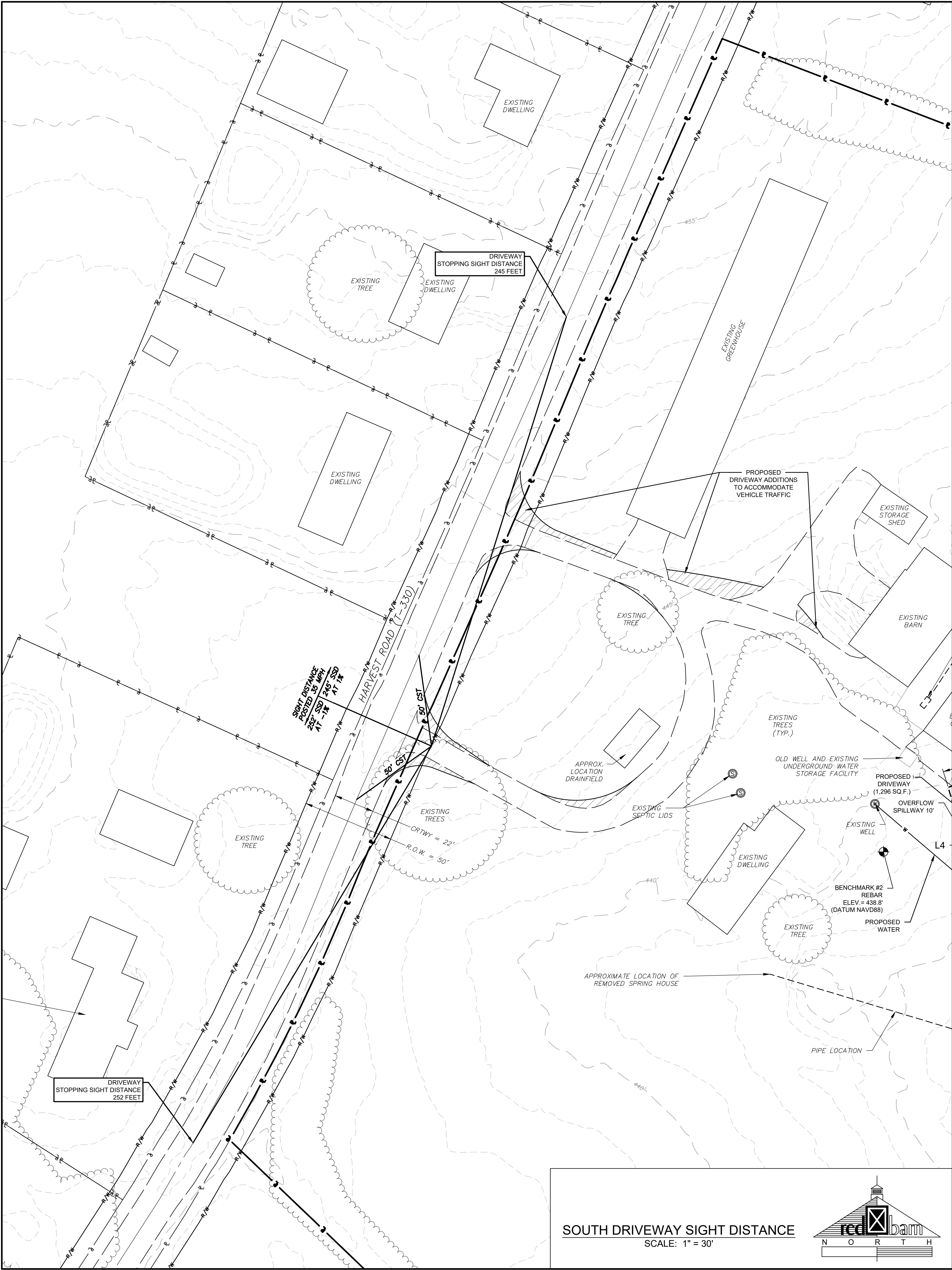


DEED PLOT
SCALE: 1" = 250'
LEGEND
PROPERTY LINE SHOWN PER DEED PLOT
PROPERTY LINE SHOWN PER G.I.S.

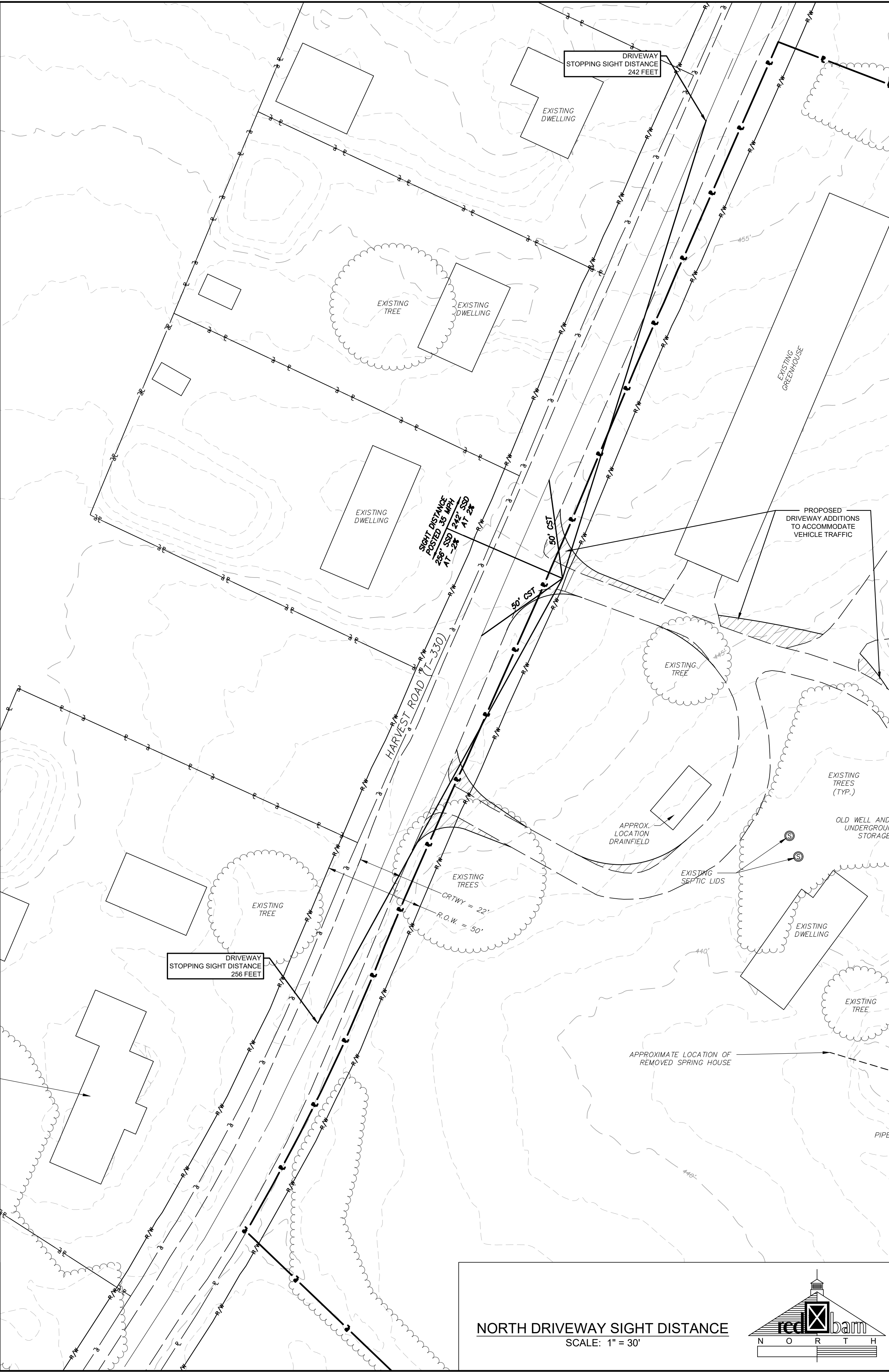
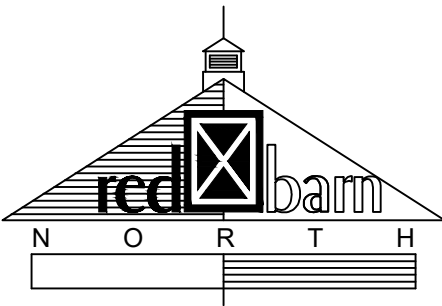
3690 Yellow Creek Road
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CLIENT	PROJECT TITLE	SHEET TITLE	SEAL
ELMER BEILER MAILING ADDRESS: 2980 HARVEST ROAD ELIZABETHTOWN, PA 17022 (717) 344 - 0151	MINOR LAND DEVELOPMENT PLAN FOR ELMER BEILER POULTRY BARN	EXISTING & PROPOSED SITE PLAN	
SITE LOCATION: 2980 HARVEST ROAD ELIZABETHTOWN, PA 17022			
NO BY	DATE	PER TWP COMMENT LETTER 1	REVISION
1	7/7/25		
2	8/4/25	PER TWP COMMENT LETTER 2	

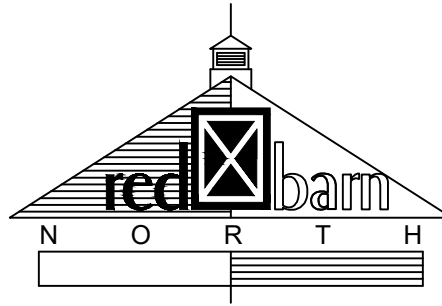
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CHECKED BY: MHH
DATE: 05/27/2025
PROJECT NO.: 20250527
SHEET: 02 OF 14
SHEET NO.: **102**

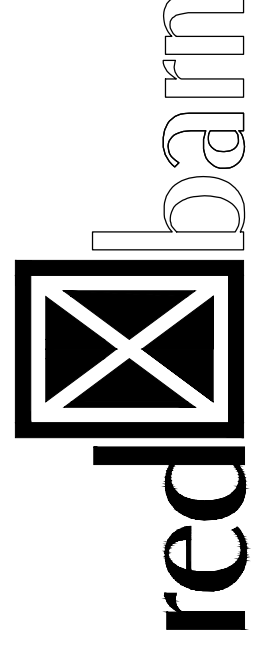


SOUTH DRIVEWAY SIGHT DISTANCE
SCALE: 1" = 30'



NORTH DRIVEWAY SIGHT DISTANCE
SCALE: 1" = 30'





3890 Yellow Grove Road
Lancaster, PA 17601
Phone: (717) 393-2176
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CLIENT		PROJECT TITLE		SHEET TITLE		SEAL	
ELMER BEILER		MINOR LAND DEVELOPMENT PLAN		SIGHT DISTANCE PLAN			
MAILING ADDRESS: 2980 HARVEST ROAD ELIZABETHTOWN, PA 17022 (717) 344 - 0151		FOR ELMER BEILER POULTRY BARN					
SITE LOCATION: 2980 HARVEST ROAD ELIZABETHTOWN, PA 17022		MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA					
2	TOW	8/4/25	PER TWP COMMENT LETTER 2	DATE	NO	BY	REVISION
1	SLM	7/7/25	PER TWP COMMENT LETTER 1				

DRAWN BY: SLM

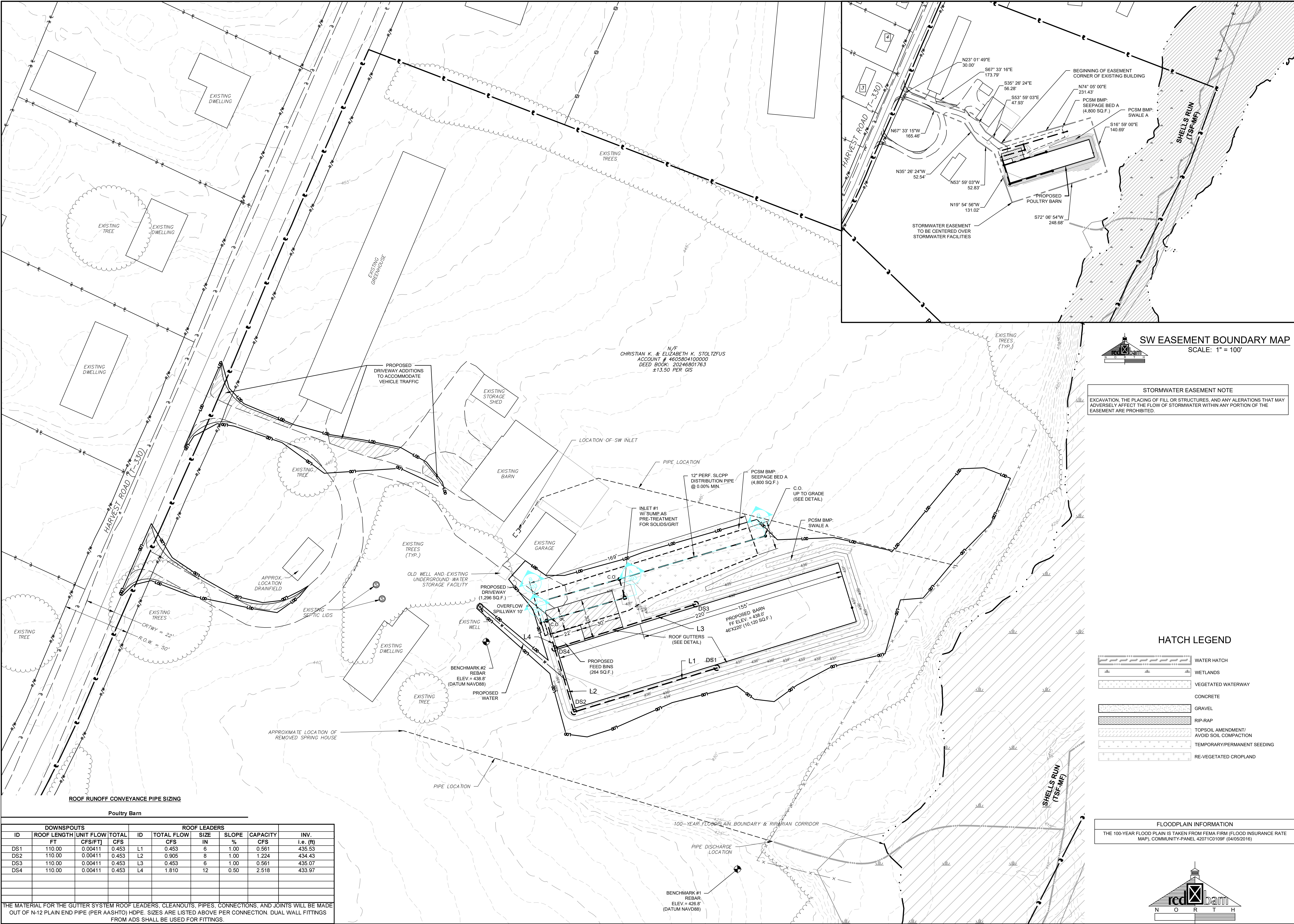
CHECKED BY: MHH

DATE: 05/27/2025

PROJECT NO.: 20250527

SHEET: 03 OF 14

SHEET NO.: 103



Poultry Barn									
DOWNSPOUTS				ROOF LEADERS					
ID	ROOF LENGTH	UNIT FLOW	TOTAL	ID	TOTAL FLOW	SIZE	SLOPE	CAPACITY	INV.
	FT	CFS/FT	CFS		CFS	IN	%	CFS	i.e. (ft)
DS1	110.00	0.00411	0.453	L1	0.453	6	1.00	0.561	435.53
DS2	110.00	0.00411	0.453	L2	0.905	8	1.00	1.224	434.43
DS3	110.00	0.00411	0.453	L3	0.453	6	1.00	0.561	435.07
DS4	110.00	0.00411	0.453	L4	1.810	12	0.50	2.518	433.97
THE MATERIAL FOR THE GUTTER SYSTEM ROOF LEADERS, CLEANOUTS, PIPES, CONNECTIONS, AND JOINTS WILL BE MADE OUT OF N-12 PLAIN END PIPE (PER AASHTO) HDPE. SIZES ARE LISTED ABOVE PER CONNECTION. DUAL WALL FITTINGS FROM ADS SHALL BE USED FOR FITTINGS.									

3650 Yellow Grove Road
Lancaster, PA 17601
Phone: (717) 393-2176
Fax: (888) 850-4015
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CLIENT

ELMER BEILER
MAILING ADDRESS:
2980 HARVEST ROAD
ELIZABETHTOWN, PA 17022
(717) 344 - 0151

PROJECT TITLE

MINOR
LAND DEVELOPMENT PLAN
FOR
ELMER BEILER
POULTRY BARN
MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

SHEET TITLE

PCSM PLAN:
CONTROL GRADING PLAN

SEAL

DRAWN BY: TDW
CHECKED BY: MHH
DATE: 05/27/2025
PROJECT NO.: 20250527
SHEET: 05 OF 14
SHEET NO.: 202

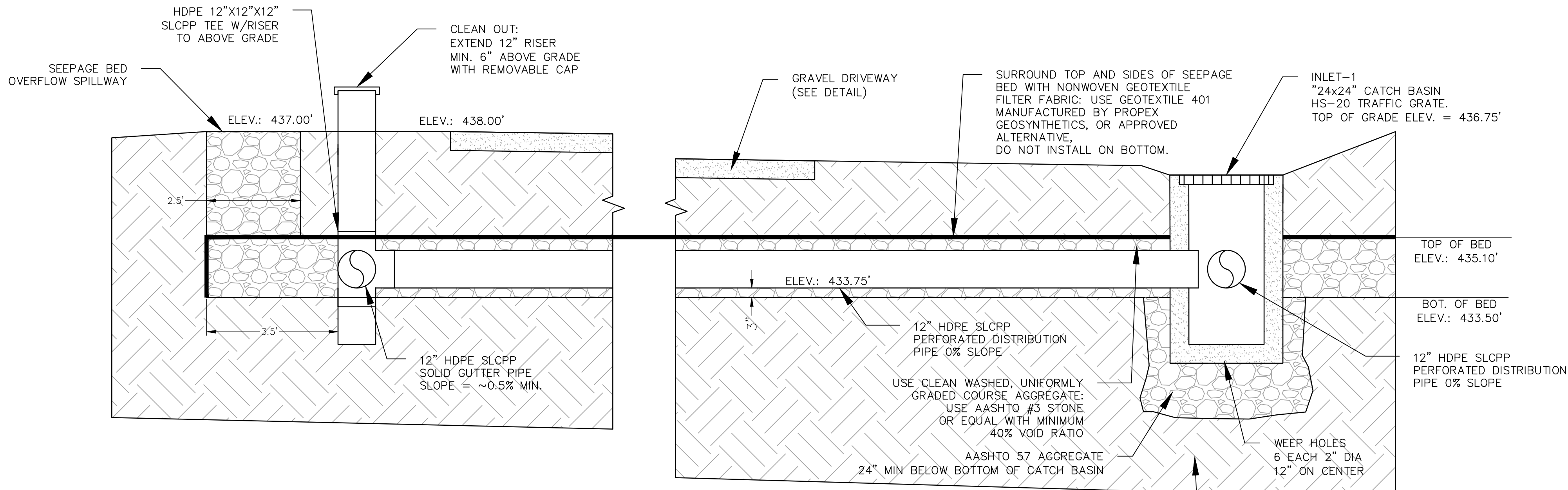
SW EASEMENT BOUNDARY MAP
SCALE: 1" = 100'

STORMWATER EASEMENT NOTE
EXCAVATION, THE PLACING OF FILL OR STRUCTURES, AND ANY ALERATIONS THAT MAY ADVERSELY AFFECT THE FLOW OF STORMWATER WITHIN ANY PORTION OF THE EASEMENT ARE PROHIBITED.

HATCH LEGEND
WATER HATCH
WETLANDS
VEGETATED WATERWAY
CONCRETE
GRAVEL
RIP-RAP
TOPSOIL AMENDMENT/
AVOID SOIL COMPACTION
TEMPORARY/PERMANENT SEEDING
RE-VEGETATED CROPLAND

FLOODPLAIN INFORMATION
THE 100-YEAR FLOOD PLAIN IS TAKEN FROM FEMA FIRM (FLOOD INSURANCE RATE MAP), COMMUNITY-PANEL 42071C0109F (04/05/2016)

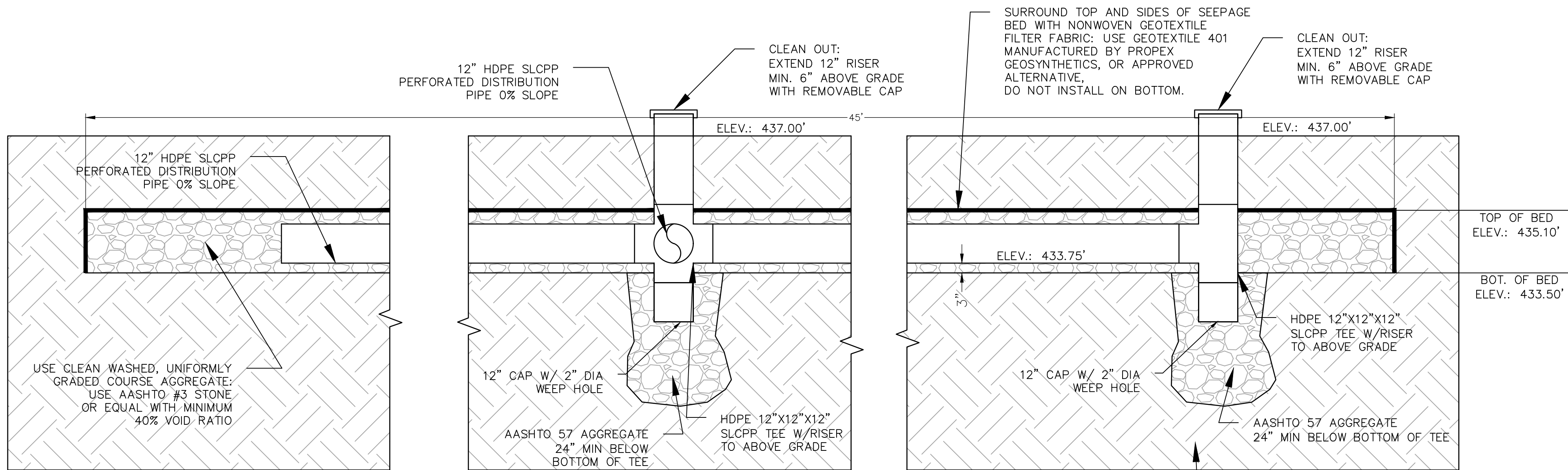
N O R T H



SEEPAGE BED A - SECTION A-A

SCALE: 1/2" = 1'

SEEPAGE BED A - STAGE STORAGE		
ELEV.	CONTOUR AREA	TOTAL STORAGE
433.50'	4,800 SQ. FT.	0 CU. FT.
434.00'	4,800 SQ. FT.	960 CU. FT.
434.50'	4,800 SQ. FT.	1,920 CU. FT.
435.00'	4,800 SQ. FT.	2,880 CU. FT.
435.10'	4,800 SQ. FT.	3,072 CU. FT.

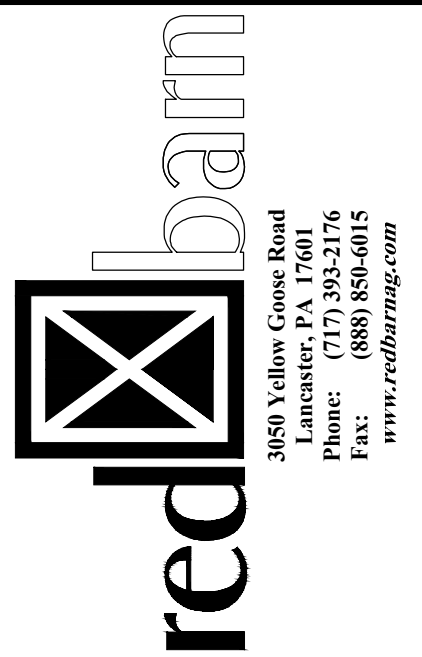
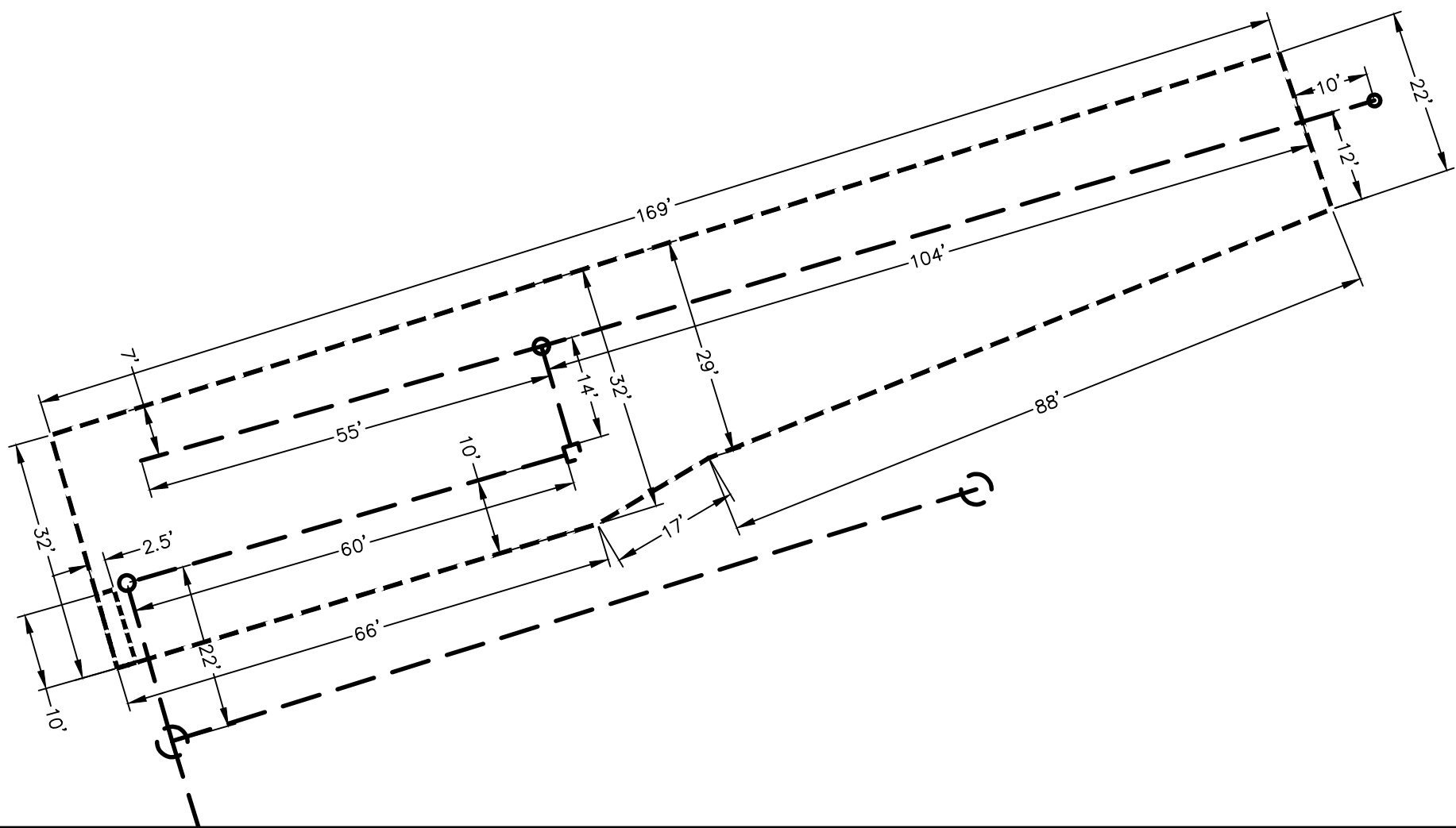


SEEPAGE BED A - SECTION B-B

SCALE: 1/2" = 1'

SEEPAGE BED NOTES
1. THE SEEPAGE BED SHALL BE SETBACK A MINIMUM OF 12' FROM ALL STRUCTURES WITH SUB-GRADE ELEMENTS (IE. BASEMENTS AND FOUNDATION WALLS).
2. EXCAVATION FOR THE INFILTRATION FACILITY SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE SEEPAGE BED/TRENCH, OR LIKE FACILITY.
3. THE SEEPAGE BED BOTTOM SHALL BE A MINIMUM OF 2' ABOVE THE SEASONAL HIGH WATER TABLE.
4. THE BOTTOM OF THE BED AND/OR TRENCH SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE.
5. ONLY CLEAN AGGREGATE, FREE OF FINES, SHALL BE ALLOWED.
6. THE TOP AND SIDES OF ALL SEEPAGE BEDS, TRENCHES, OR LIKE FACILITIES SHALL BE COVERED WITH DRAINAGE FILTRATION FABRIC. FABRIC SHALL MEET THE SPECIFICATIONS OF PENNDOT PUBLICATION 408, SECTION 735.
7. PROVISIONS FOR THE COLLECTION OF DEBRIS IN ORDER TO PREVENT CLOGGING SHALL BE PROVIDED IN ALL FACILITIES.
8. ALL ROOF DRAINS DISCHARGING TO THE INFILTRATION TRENCH SHALL HAVE DOWNSPOUT FILTERS INSTALLED.
9. THE SEEPAGE BED SHALL DEWATER WITHIN 24 HOURS AFTER THE 2 YEAR DESIGN STORM EVENT.
10. BED BOTTOM AND HDPE PIPE SHOULD BE INSTALLED AT A LEVEL (0% GRADE) ELEVATION ON UNCOMPACTED, UNDISTURBED SOIL AND THEN SCARIFIED. CARE SHALL BE TAKEN TO ENSURE TO COMPACTION EQUIPMENT, SEDIMENT, OR STONE DUST DOES NOT ENTER THE INFILTRATION PIT AS THIS COULD POTENTIALLY SEAL THE FACILITY.
11. ALL ROOF LEADERS SHALL BE A MINIMUM OF 6" OR AS NOTED ON PLANS.
12. ALL SEEPAGE BED PERFORATED PIPE SHALL BE A MINIMUM OF 12" DIA.
13. REPLACE A MINIMUM OF 12" OF TOPSOIL OVER GEOTEXTILE MATERIAL AND RE-VEGETATE.

WATERTIGHT JOINT NOTE
WATERTIGHT JOINTS SHALL BE PROVIDED WHERE PIPE SECTIONS ARE JOINED.



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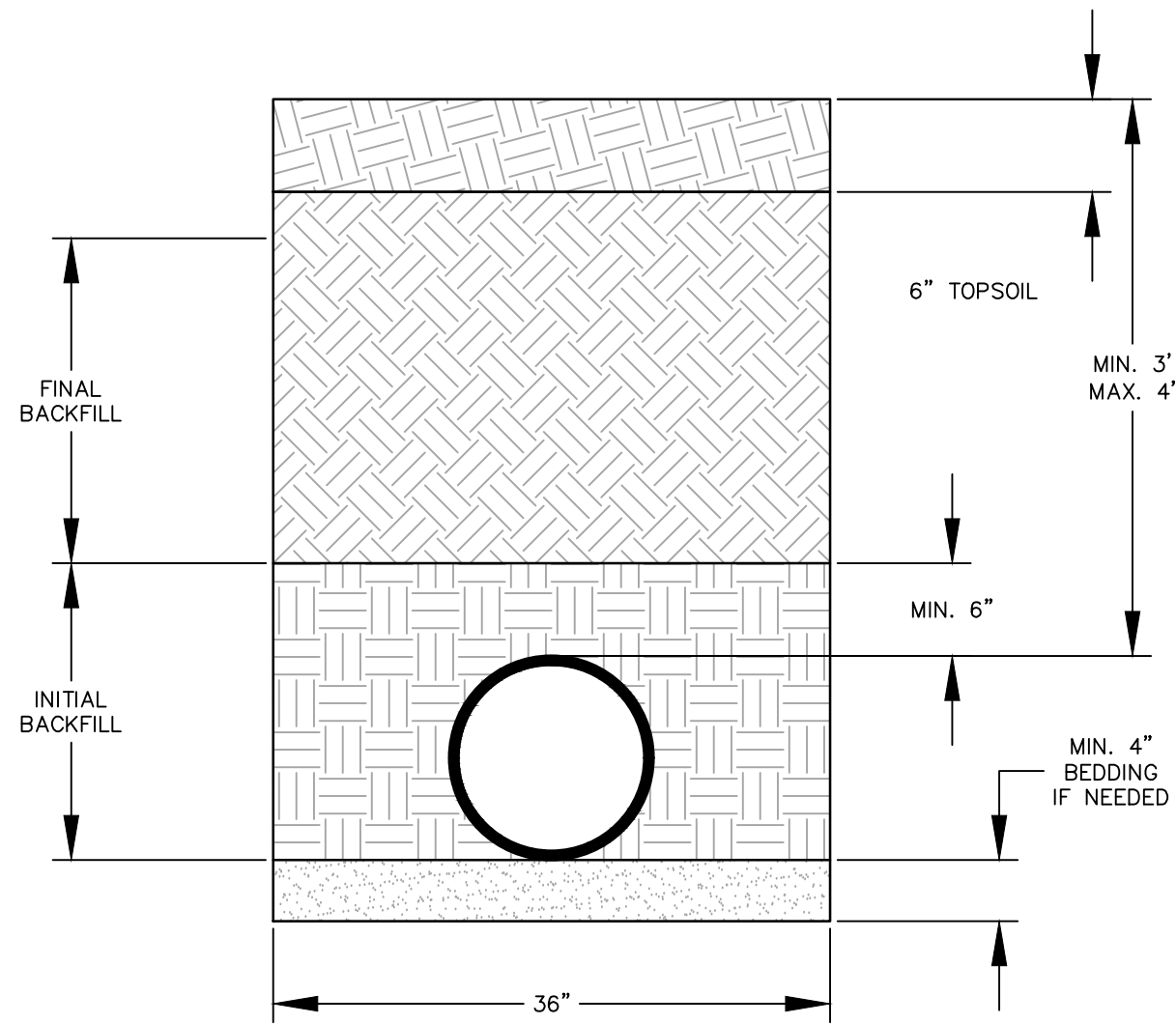
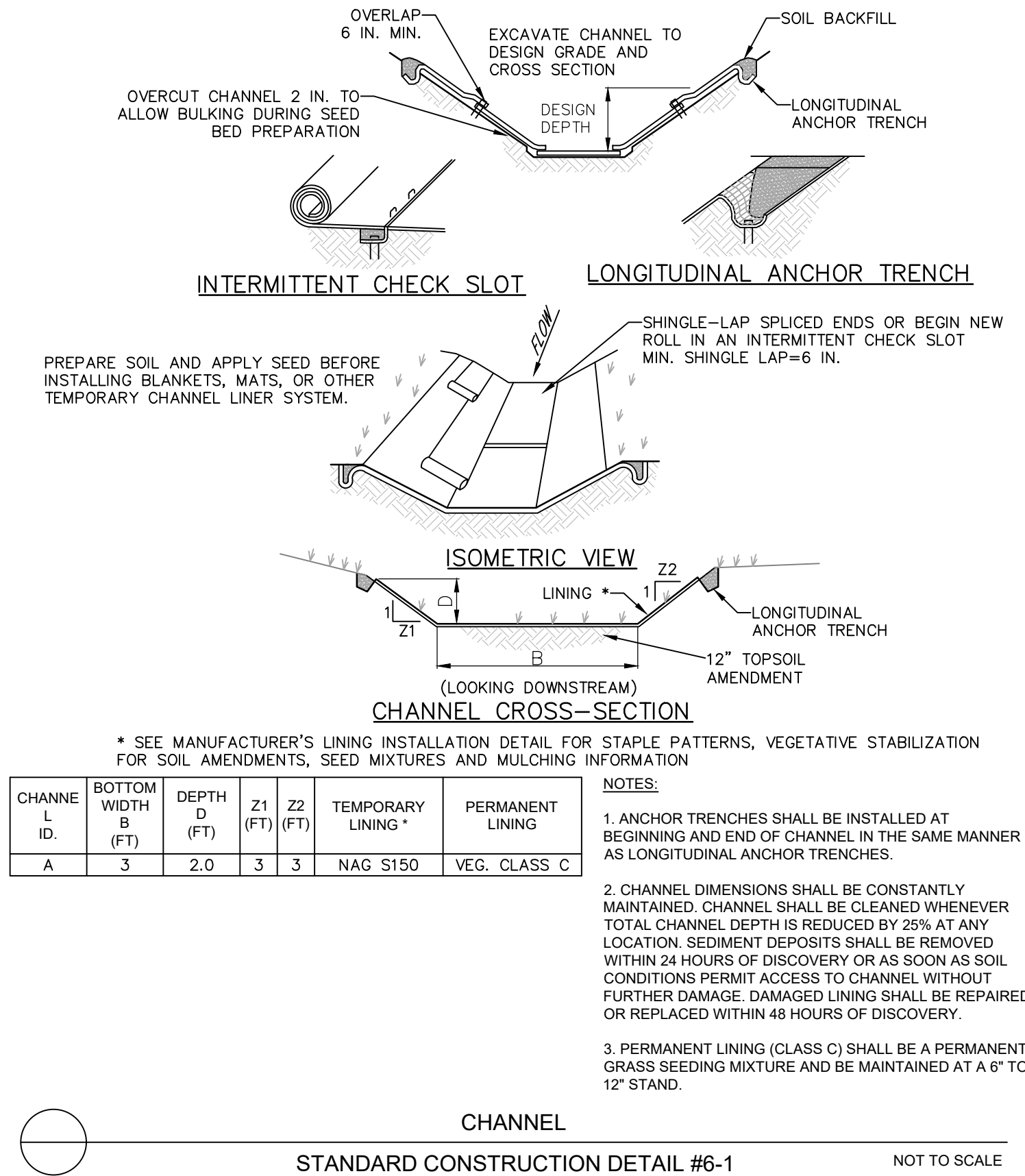
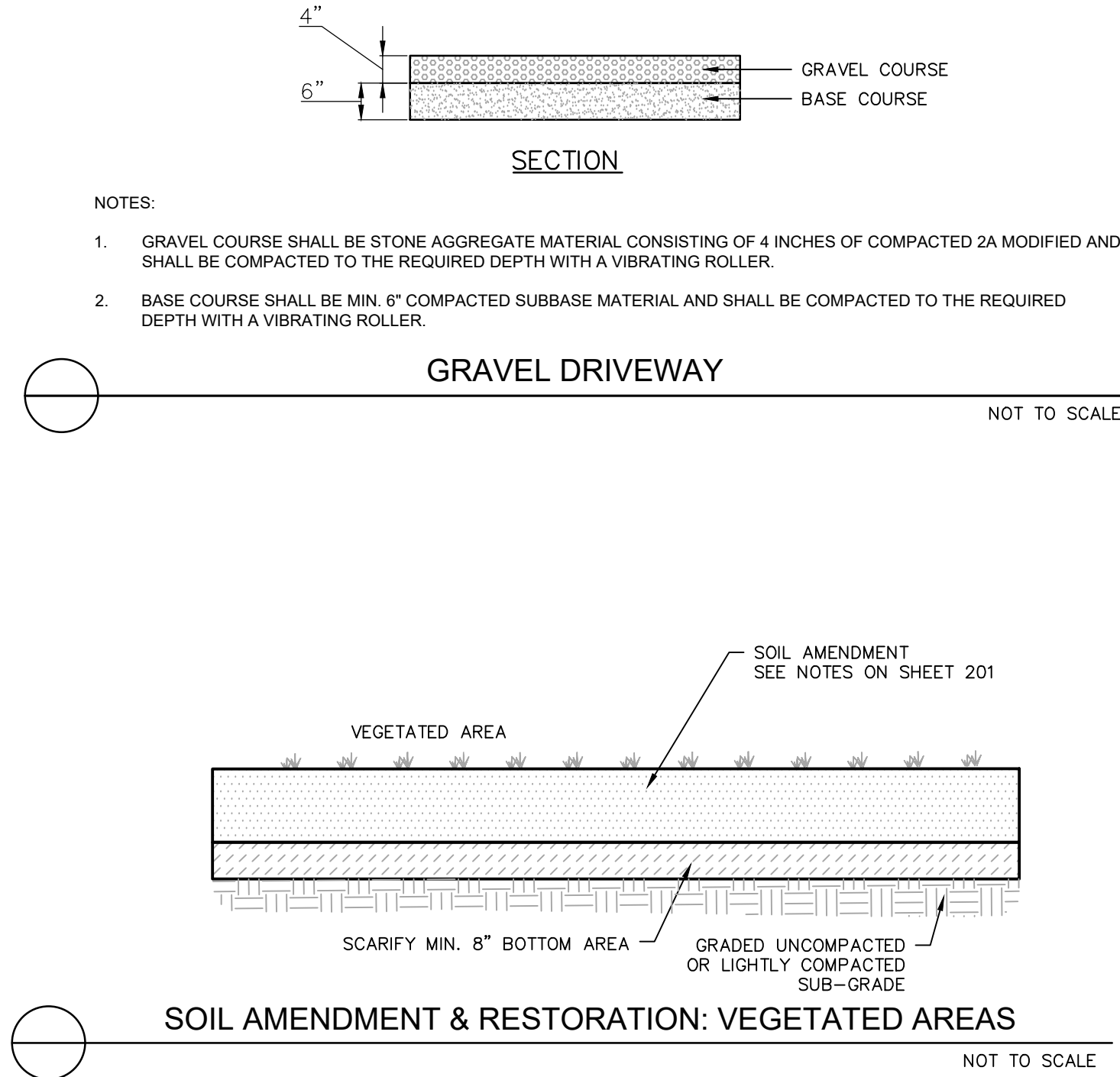
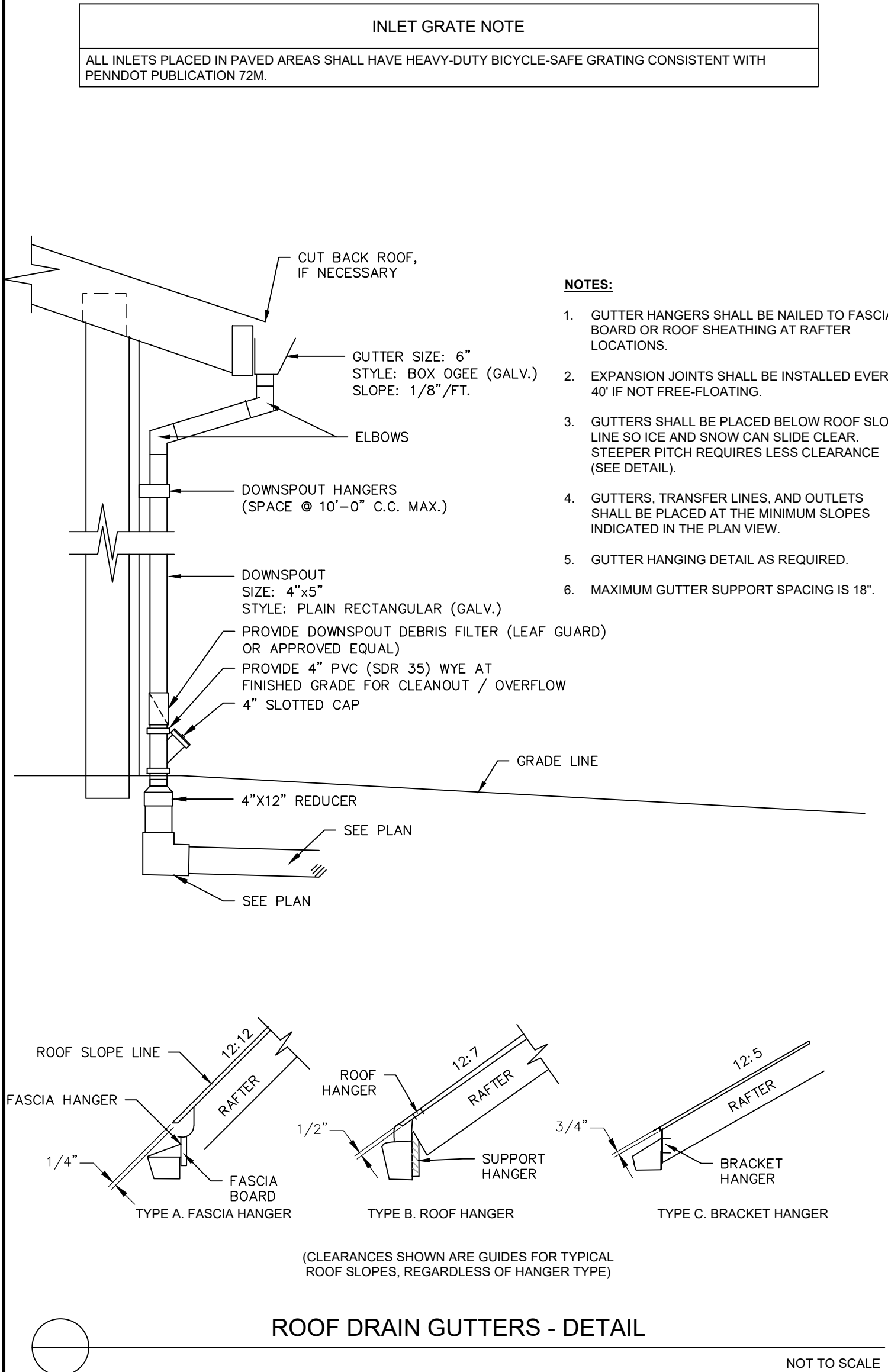
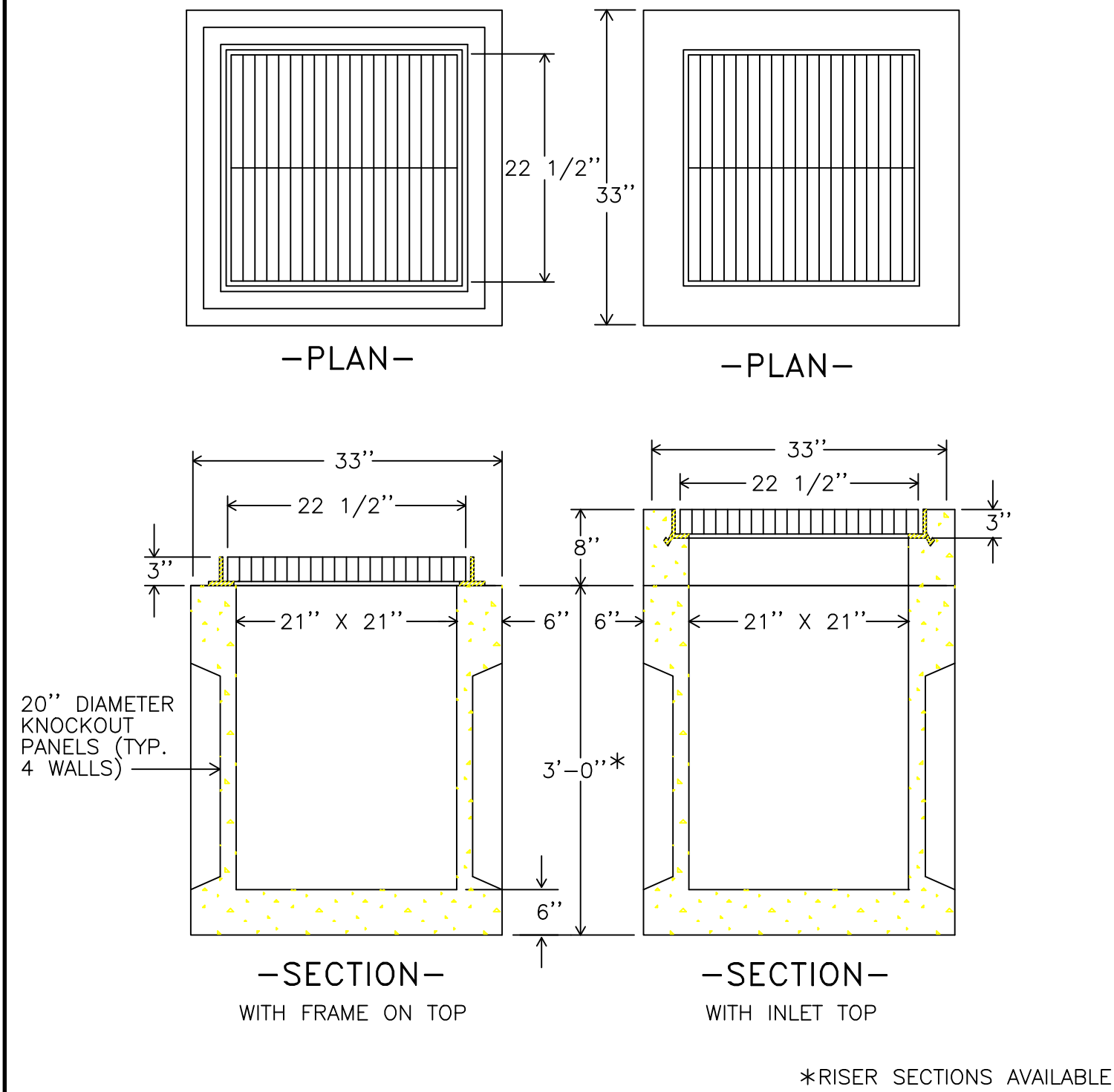
CLIENT	PROJECT TITLE	SHEET TITLE	DATE	REVISION
ELMER BEILER MAILING ADDRESS: 2980 HARVEST ROAD ELIZABETHTOWN, PA 17022 (717) 344 - 0151	MINOR LAND DEVELOPMENT PLAN FOR ELMER BEILER POULTRY BARN MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA	PCSM PLAN: CONTROL DETAILS 1	05/27/2025	203

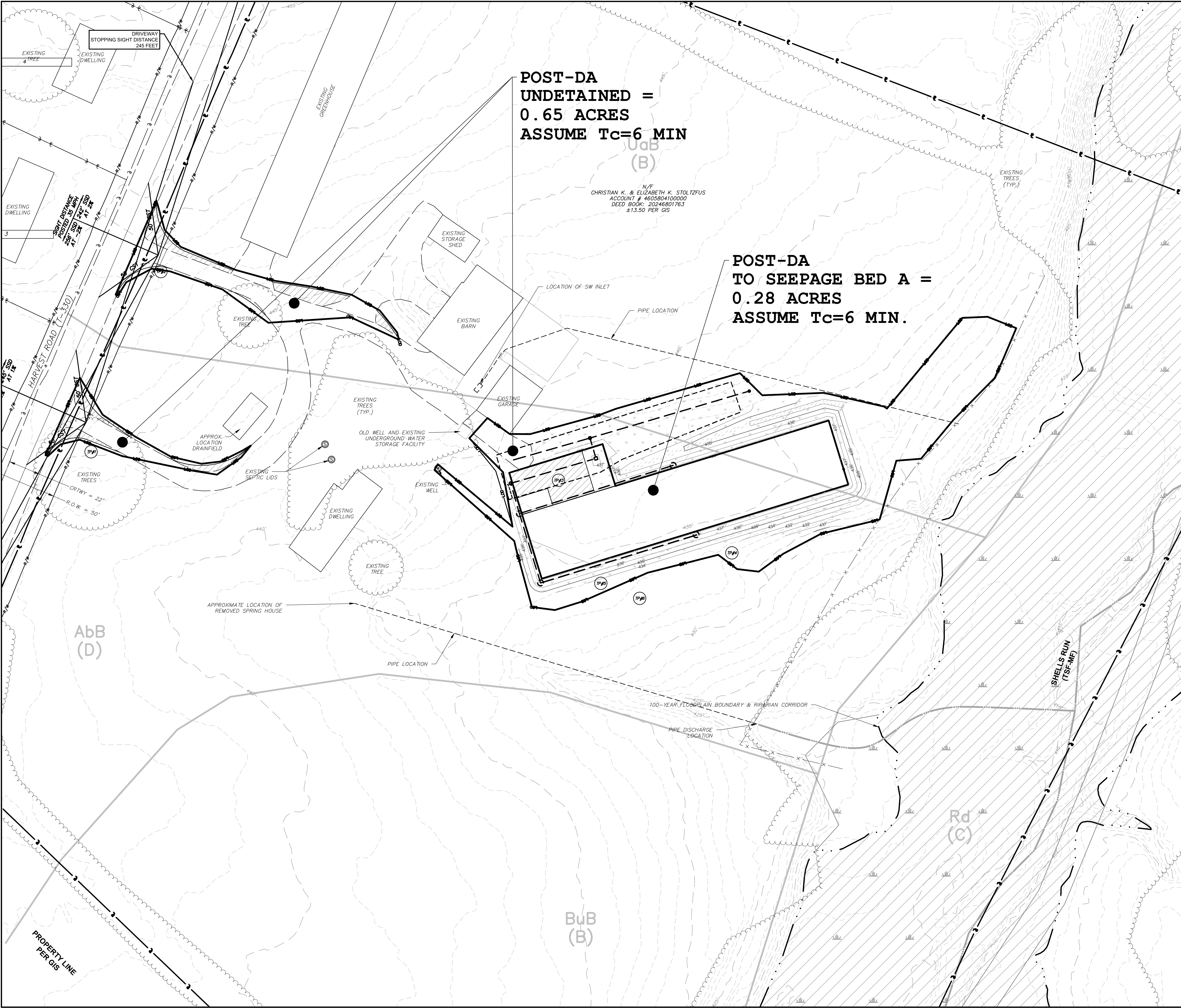
CLIENT	PROJECT TITLE	SHEET TITLE	DATE	REVISION
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FLOODPLAIN INFORMATION			
THE 100-YEAR FLOOD PLAIN IS TAKEN FROM FEMA FIRM (FLOOD INSURANCE RATE MAP), COMMUNITY-PANEL 42071C0109F (04/05/2016)			
SOILS INFORMATION			
(PER SOILS SURVEY OF LANCASTER COUNTY, PENNSYLVANIA)			
MAP SYMBOL	SOIL NAME	HYDROLOGIC SOIL GROUP	Kf FACTOR
AbB	ABBOTTSTOWN SILT LOAM, 3-8% SLOPES LIMITATIONS: CUTBANKS CAVE, CORROSIVE TO CONCRETE / STEEL, EASILY ERODIBLE, DEPTH TO SATURATED ZONE / SEASONAL HIGH WATER TABLE, HYDRIC INCLUSIONS, LOW STRENGTH / LANDSLIDE PRONE, SLOW PERCOLATION, PIPING, POOR SOURCE OF TOPSOIL, FROST ACTION, WETNESS.	D	0.32
BuB	BUCKS SILT LOAM, 3-8% SLOPES LIMITATIONS: CUTBANKS CAVE, CORROSIVE TO CONCRETE, LOW STRENGTH / LANDSLIDE PRONE, SLOW PERCOLATION, PIPING, POOR SOURCE OF TOPSOIL, FROST ACTION, SHRINK - SWELL.	B	0.37
Rd	ROWLAND SILT LOAM, LIMITATIONS: CUTBANKS CAVE, EASILY ERODIBLE, FLOODING, DEPTH TO SATURATED ZONE / SEASONAL HIGH WATER TABLE, HYDRIC/HYDRIC INCLUSIONS, LOW STRENGTH / LANDSLIDE PRONE, SLOW PERCOLATION, PIPING, POOR SOURCE OF TOPSOIL, FROST ACTION, WETNESS.	C	0.43
UaB	UNDERS LOAM, 3-8% SLOPES LIMITATIONS: CUTBANKS CAVE, CORROSIVE TO CONCRETE, EASILY ERODIBLE, LOW STRENGTH / LANDSLIDE PRONE, SLOW PERCOLATION, FROST ACTION.	B	0.37

SOILS LIMITATIONS AND RESOLUTIONS

CUTBACK CAVE: SOIL CUT SLOPES SHALL BE GRADED AT A MINIMUM OF 3:1. ALL TRENCHING SHALL BE DONE PER OSHA GUIDELINES.

DROUGHTY: PERMANENT STABILIZATION SHALL BE COMPLETED DURING THE GROWING SEASON. CARE SHALL BE TAKEN TO ENSURE ADEQUATE MOISTURE IS AVAILABLE FOR SEED GERMINATION.

EASILY ERODIBLE: EROSION WILL BE MINIMIZED BY ESTABLISHMENT OF VEGETATION WITH A MINIMUM 6" OF TOPSOIL, PROPER COMPACTION OF SUBSOILS WHERE REQUIRED, AND THE INSTALLATION OF MATTING PER PLAN DETAILS AND SPECIFICATIONS. SOIL SLOPES SHALL BE GRADED AT A MINIMUM OF 3:1.

HYDRIC INCLUSIONS: THE SITE HAS BEEN INVESTIGATED AND NO DISTURBANCE WITH PROPOSED WITHIN ANY WETLANDS AREA. THE SITE IS LOCATED IN AN AREA THAT HAS BEEN CULTIVATED FOR THE LAST FIVE YEARS. SITE SPECIFIC TESTING WAS DONE TO ENSURE BMP'S WERE PROPERLY PLACED.

SLOW PERCOLATION: PERC TESTING WAS COMPLETED WITH A DOUBLE RING INFILTROMETER TO ENSURE ADEQUATE PERCOLATION WITHIN THE INFILTRATION BMP'S.

PIPING: PIPING WILL BE AVOIDED WITH PROPER COMPACTION AND ESTABLISHMENT OF VEGETATION.

POOR TOPSOIL: TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR LATER UTILIZATION OF PERMANENT STABILIZATION. THE TOPSOIL WILL BE AMENDED IN THE BMP AREAS.

DEPTH TO SATURATION: SITE SPECIFIC TESTING WAS DONE TO ENSURE INFILTRATION BMP'S MAINTAINED THE RECOMMEND SEPARATION DISTANCE.

LOW STRENGTH / LANDSLIDE PRONE: PROPER SITE COMPACTION AND PERMANENT SITE STABILIZATION PER PLAN DETAILS AND SPECIFICATIONS WILL MITIGATE THIS CONFLICT. SOIL SLOPES SHALL BE GRADED AT A MINIMUM OF 3:1.

FROST ACTION: COMMENCING COMPLETING THE SITE WORK PRIOR TO INCLIMATE WEATHER MITIGATES THIS CONCERN. PROPER FOOTING DEPTH, DRAINAGE, AND COVER WILL AID IN THE REDUCTION OF THIS POTENTIAL.

SHRINK-SWELL: ESTABLISHMENT OF PERMANENT VEGETATION AND PROPER COMPACTION ALONG WITH PROPER INSTALLATION OF THE CONVEYANCE SYSTEM PER PLAN DETAILS AND SPECIFICATIONS WILL REDUCE THE POTENTIAL.

SINKHOLES: THE SITE WAS INVESTIGATED FOR SINKHOLE POTENTIAL. THE RECOMMENDED DEEP LOADING RATIOS ARE MAINTAINED TO MITIGATE THIS POTENTIAL.

FLOODING / PONDING / WETNESS: THE SITE IS GRADED FOR PROPER DRAINAGE. SITE SPECIFIC TESTING WAS DONE IN THE AREAS OF THE BMP'S TO AVOID NEGATIVE IMPACTS.

SOIL TESTING					
INFILTRATION TRENCHES, SEEPAGE BEDS A & B					
TEST LOCATION	EXISTING GRADE (FEET)	SCM BOTTOM (FEET)	INFILTRATION TEST DEPTH (FEET)	PROBE DEPTH (FEET)	PROBE DEPTH (INCHES)
TP#1	445.00	443.00	443.00	24	441.00
TP#2	448.00	446	446	24	444
TP#3	436.00	433.50	433.50	30	431.50
TP#4	432.00	429	429	36	427
TP#5	434.00	429	432	24	427
TP#6	432.50	429	429.50	36	427.50

DRAINAGE AREA LEGEND

- FLOW PATH
- TERRACE
- PRE-DEVELOPMENT DRAINAGE AREA
- PRE-DEVELOPMENT TIME OF CONCENTRATION LINE
- POST-DEVELOPMENT DRAINAGE AREA
- POST-DEVELOPMENT TIME OF CONCENTRATION LINE
- CONVEYANCE DRAINAGE AREA
- SEDIMENT BASIN/TRAP DRAINAGE AREA
- SOIL TYPE BOUNDARY LINE

HaB (C) SOIL TYPE MAP SYMBOL (HYDROLOGIC SOIL GROUP)

TP# SOIL TEST PIT LOCATION

P-TA SOIL PERCOLATION TEST LOCATION

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CLIENT

ELMER BEILER
MAILING ADDRESS:
2980 HARVEST ROAD
ELIZABETHTOWN, PA 17022
(717) 344 - 0151

DATE

2 TDW 8/4/25 PER TWP COMMENT LETTER 2

1 SUM 7/7/25 PER TWP COMMENT LETTER 1

NO BY

PROJECT TITLE

MINOR LAND DEVELOPMENT PLAN FOR ELMER BEILER POULTRY BARN

MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

SHEET TITLE

PCSM PLAN: POST-DRAINAGE AREA PLAN

SCALE: 1" = 30'

0' 30' 60' 90'

SEAL

DRAWN BY: TDW

CHECKED BY: MHH

DATE: 05/27/2025

PROJECT NO: 20250527

SHEET: 09 OF 14

SHEET NO: 206

CRITICAL STAGES OF IMPLEMENTATION / STORMWATER MANAGEMENT BMP CONSTRUCTION OBSERVATIONS		
A LICENSED PROFESSIONAL OR DESIGNER SHALL BE PRESENT ON-SITE TO INSPECT THE CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN. THE FOLLOWING CRITICAL STAGES OF IMPLEMENTATION SHALL BE INSPECTED.		
1. INSTALLATION OF SEEPAGE BED A B. INSTALLATION OF TOPSOIL AMENDMENT 2. INSTALLATION OF VEGETATED SWALE A 3. PERMANENT SITE STABILIZATION		
CONSTRUCTION SEQUENCE		
ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.		
IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.		
FAILURE TO CORRECTLY INSTALL SEDIMENT CONTROL FACILITIES OR FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE OR FAILURE TO TAKE CORRECTIVE ACTIONS TO IMMEDIATELY RESOLVE FAILURES OF SEDIMENT CONTROL FACILITIES MAY RESULT IN ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS DEFINED IN SECTION 602 OF THE CLEAN STREAMS LAW OF PENNSYLVANIA. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.		
COMPACTION SHALL BE AVOIDED IN ALL INFILTRATION AREAS.		
1. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND A REPRESENTATIVE OF THE LANCASTER COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.		
2. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.		
3. PERFORM CONSTRUCTION TAKEOUT AND FIELD MARK ALL E&S CONTROLS AND LIMITS OF DISTURBANCE. PRIOR TO BEGINNING EARTH WORK, THE REGULATED LIMITS OF DISTURBANCE SHALL BE ACCURATELY MARKED BY A FIELD SURVEY AND MAINTAINED THROUGHOUT CONSTRUCTION.		
4. INSTALL TEMPORARY ROCK CONSTRUCTION ENTRANCE PER PLAN SPECIFICATIONS AND DETAILS.		
5. INSTALL TEMPORARY COMPOST FILTER SOCKS.		
6. INITIATE STRIPPING AND STOCKPILING OF TOPSOIL FROM AREAS WHICH ARE TO BE RE-GRADED FOR THE CONSTRUCTION OF THE BUILDING, CONCRETE PAD, AND ACCESS. STRIPPING SHALL BE LIMITED TO THOSE AREAS WHICH ARE TO BE IMMEDIATELY RE-GRADED. STOCKPILE EXCESS SOIL AND TOPSOIL IN DESIGNATED AREAS.		
7. INITIATE GRADING FOR CONSTRUCTION OF THE BUILDING PAD, CONCRETE WALKWAYS, AND ACCESS. TO THE EXTENT POSSIBLE, DISTURBANCE SHALL BE LIMITED TO THE AREA BEING GRADED AT ANY GIVEN TIME.		
8. INSTALL TEMPORARY CONCRETE WASHOUT.		
9. INITIATE AND COMPLETE CONSTRUCTION OF THE BUILDINGS.		
10. INSTALL SWALE A AND STABILIZE PER PLAN DETAILS AND SPECIFICATIONS.		
11. INSTALL AND STUB ALL GUTTER PIPES AND DOWNSPOUTS THAT WILL CONNECT TO SEEPAGE BED A PER PLAN SPECIFICATIONS AND DETAILS.		
12. INITIATE STRIPPING AND STOCKPILING OF TOPSOIL FROM AREAS WHICH ARE TO BE RE-GRADED FOR THE CONSTRUCTION OF THE SEEPAGE BED A. STRIPPING SHALL BE LIMITED TO THOSE AREAS WHICH ARE TO BE IMMEDIATELY RE-GRADED FOR THE SEEPAGE BED. STOCKPILE EXCESS SOIL AND TOPSOIL IN TOPSOIL STOCKPILE.		
13. INITIATE EXCAVATION FOR CONSTRUCTION OF PCSM SEEPAGE BED A. TO THE EXTENT POSSIBLE, DISTURBANCE SHALL BE LIMITED TO THE AREA BEING GRADED AT ANY GIVEN TIME. CONTACT THE DESIGN ENGINEER DURING THIS TIME FOR INSPECTION OF THE FACILITY.		
B. PRIOR TO THE APPLICATION OF TOPSOIL, SCARIFICATION OR LOOSENING OF SOIL TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE SHALL BE DONE.		
C. IMMEDIATELY AFTER FINAL GRADE IS ACHIEVED FOR ANY PORTION OF THE SITE, PERMANENT VEGETATIVE STABILIZATION SHALL BE IMPLEMENTED ON ALL DISTURBED AREAS PER PLAN SPECIFICATIONS AND DETAILS. PERMANENT STABILIZATION REQUIRES THAT VEGETATED AREAS MUST ACHIEVE A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OVER THE ENTIRE DISTURBED AREA. ANY SLOPE 3:1 OR STEEPER SHALL HAVE EROSION CONTROL MATTING INSTALLED ON THE SLOPE PER PLAN SPECIFICATIONS AND DETAILS.		
D. IMMEDIATELY AFTER FINAL GRADE IS ACHIEVED FOR ANY PORTION OF A DRIVEWAY AND/OR TURNAROUND AREA, STABILIZATION WITH GRAVEL SHALL BE IMPLEMENTED PER PLAN SPECIFICATIONS AND DETAILS.		
E. INSTALL ROOF GUTTERS, DOWNSPOUT AND UNDERGROUND CONVEYANCE TO SEEPAGE BED.		
14. COMPLETE FINAL GRADING OF SEEPAGE BED A PER THE SITE PLAN.		
15. COMPLETE THE FINAL GRADING OF THE SITE PER THE SITE PLAN AND STABILIZE SITE:		
A. REMOVE ALL SEDIMENT FROM E&S CONTROLS AND WORK INTO THE FINAL GRADING.		
B. PRIOR TO THE APPLICATION OF TOPSOIL, SCARIFICATION OR LOOSENING OF SOIL TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE SHALL BE DONE.		
C. IMMEDIATELY AFTER FINAL GRADE IS ACHIEVED FOR ANY PORTION OF THE SITE, PERMANENT VEGETATIVE STABILIZATION SHALL BE IMPLEMENTED ON ALL DISTURBED AREAS PER PLAN SPECIFICATIONS AND DETAILS. PERMANENT STABILIZATION REQUIRES THAT VEGETATED AREAS MUST ACHIEVE A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OVER THE ENTIRE DISTURBED AREA. ANY SLOPE 3:1 OR STEEPER SHALL HAVE EROSION CONTROL MATTING INSTALLED ON THE SLOPE PER PLAN SPECIFICATIONS AND DETAILS.		
D. IMMEDIATELY AFTER FINAL GRADE IS ACHIEVED FOR ANY PORTION OF A DRIVEWAY AND/OR TURNAROUND AREA, STABILIZATION WITH GRAVEL SHALL BE IMPLEMENTED PER PLAN SPECIFICATIONS AND DETAILS.		
E. INSTALL ROOF GUTTERS, DOWNSPOUT AND UNDERGROUND CONVEYANCE TO SEEPAGE BED.		
16. REMOVE ALL TEMPORARY E&S CONTROLS.		
A. REMOVE CONCRETE WASH WATER DISPOSAL AREA.		
B. REMOVE ALL COMPOST FILTER SOCK.		
C. REMOVE ROCK CONSTRUCTION ENTRANCE.		
D. STABILIZE ANY REMAINING DISTURBED AREAS PER PLAN SPECIFICATIONS AND DETAILS.		
17. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES, REMOVAL OF ALL TEMPORARY BMPs AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE DESIGN ENGINEER IT COMPLETE AN AS-BUILT PLAN FOR SUBMISSION.		
SEED APPLICATION RATES		
(TEMPORARY)		
SPECIES:	ANNUAL RYEGRASS	
% PURE LIVE SEED:	95%	
APPLICATION RATE:	175 LB. / ACRE	
FERTILIZER TYPE:	10-10-10 (X-X-X)	
FERTILIZER APPLICATION RATE:	500 LB. / ACRE	
LIMING RATE:	1.0 T. / ACRE	
MULCH TYPE:	STRAW OR HAY	
MULCHING RATE:	3.0 T. / ACRE	
(PERMANENT)		
PCSOM PLACEMENT DEPTH:	6.0 INCH	
SPECIES:	55% TALL FESCUE / 19% HARD FESCUE / 10% SWITCHGRASS / 10% PERENNIAL RYE GRASS / 6% WHITE CLOVER	
% PURE LIVE SEED:	95%	
APPLICATION RATE:	150 LB. / ACRE	
FERTILIZER TYPE:	10-20-20 (X-X-X)	
FERTILIZER APPLICATION RATE:	500 LB. / ACRE	
LIMING RATE:	6.0 T. / ACRE	
MULCH TYPE:	STRAW	
MULCHING RATE:	3.0 T. / ACRE	
ANCHOR MATERIAL:	TACKIFIER	
ANCHORING METHOD:	SPRAY SLURRY	
RATE OF ANCHOR MATERIAL APPLICATION:	100 LB. / ACRE	
SEEDING SEASON DATES:	MARCH 15 - OCTOBER 15	
SEEDING MIX: LOW MAINTENANCE BASIN	SEEDING MIX: EMBANKMENTS	SEEDING MIX: SWALES/LOWLANDS/VFS
CONSERVATION FORMULATIONS: CONSERVE - LOW MAINTENANCE BASIN 50% TALL FESCUE 18% HARD FESCUE 10% PERENNIAL RYEGRASS 10% CREEPING RED FESCUE 6% WHITE CLOVER 6% REDTOP	CONSERVATION FORMULATIONS: EMBANKMENTS: CONSERVE - HIGH & DRY 55% TALL FESCUE 10% SWITCHGRASS 10% PERENNIAL RYEGRASS 6% WHITE CLOVER	CONSERVATION FORMULATIONS: SWALES & LOWLANDS: CONSERVE - LOWLAND 54% TALL FESCUE 24% POA TRIVIALIS 10% PERENNIAL RYEGRASS 6% REDTOP 6% RED CANARY GRASS
SEEDING RATE: 200 LBS PER ACRE	SEEDING RATE: 150 LBS PER ACRE	SEEDING RATE: 200 LBS PER ACRE
SUPPLIED BY: F.M. BROWN'S SONS, INC. SINKING SPRING, PA. PHONE: 800-345-3344, FAX: 610-678-7023 WWW.FMBROWN.COM		

SEEPEAGE BED NOTES

SEEPEAGE BED NOTES:

1. THE SEEPEAGE BED SHALL BE SETBACK A MINIMUM OF 12" FROM ALL STRUCTURES WITH SUB-GRADE ELEMENTS (IE. BASEMENTS AND FOUNDATION WALLS)
2. EXCAVATION FOR THE INFILTRATION FACILITY SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT
3. THE BOTTOM OF THE SEEPEAGE BED/TRENCH, OR LIKE FACILITY,
3. THE SEEPEAGE BED BOTTOM SHALL BE A MINIMUM OF 2" ABOVE THE SEASONAL HIGH WATER TABLE
4. THE BOTTOM OF THE BED AND/OR TRENCH SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE
5. ONLY CLEAN AGGREGATE, FREE OF FINES, SHALL BE ALLOWED.
6. THE TOP AND SIDES OF ALL SEEPEAGE BEDS, TRENCHES, OR LIKE FACILITIES SHALL BE COVERED WITH DRAINAGE FILTRATION FABRIC. FABRIC SHALL MEET THE SPECIFICATIONS OF PENNDOT PUBLICATION 408, SECTION 735.
7. CONSTRUCTION CLASS 1.
7. PROVISIONS FOR THE COLLECTION OF DEBRIS IN ORDER TO PREVENT CLOGGING SHALL BE PROVIDED IN ALL FACILITIES.
8. ALL ROOF DRAINS DISCHARGING TO THE INFILTRATION TRENCH SHALL HAVE DOWNSPOUT FILTERS INSTALLED
9. THE SEEPEAGE BED SHALL DRAIN WITHIN 24 HOURS AFTER THE 2 YEAR DESIGN STORM EVENT.
10. BED BOTTOM AND HDPE PIPE SHOULD BE INSTALLED AT A LEVEL (0% GRADE) ELEVATION ON UNCOMPACTED, UNDISTURBED SOIL, AND THEN SCARIFIED. CARE SHALL BE TAKEN TO ENSURE TO COMPACTION EQUIPMENT, SEDIMENT, OR STONE DUST DOES NOT ENTER THE INFILTRATION PIT AS THIS COULD POTENTIALLY SEAL THE FACILITY.
11. ALL ROOF LEADERS SHALL BE A MINIMUM OF 6" OR AS NOTED ON PLANS.
12. ALL SEEPEAGE BED PERFORATED PIPE SHALL BE A MINIMUM OF 12"
13. REPLACE A MINIMUM OF 12" OF TOPSOIL OVER GEOTEXTILE MATERIAL AND RE-VEGETATE.

SOIL AMENDMENT & RESTORATION CONSTRUCTION NOTES

SOIL AMENDMENT NOTES:

SOIL AMENDMENT AND RESTORATION IS THE PROCESS OF RESTORING DISTURBED SOILS BY RESTORING SOIL POROSITY BY PHYSICAL TREATMENT AND/OR ADDING A SOIL AMENDMENT, SUCH AS TOPSOIL, COMPOST OR COMPOSTED MANURE SOLIDS.

THE SOIL RESTORATION PROCESS MAY NEED TO BE REPEATED OVER TIME, DUE TO COMPACTION BY SOIL AND/OR SETTLLING.

1. VEGETATED AREAS SPECIUE:

- a. TREAT COMPACTED AREAS BY RIPPING / SUBSOILING / TILLING / SCARIFYING AS OUTLINED BELOW, PRIOR TO REPLACEMENT OF TOPSOIL AMENDMENT IN THE BMP
- b. DISTRIBUTE TOPSOIL AMENDMENT OVER INFILTRATION BMP. ON-SITE TOPSOIL WITH AN ORGANIC CONTENT OF AT LEAST 5 PERCENT CAN BE PROPERLY STOCKPILED AND USED. COMPOSTED MANURE SOLIDS MAY BE USED TO AMEND SOIL, AT A RATE OF 5%-15%. GREEN MANURE MAY NOT BE USED.
- c. STABILIZE BMP PER PLAN SPECIFICATIONS AND DETAILS.

2. VEGETATED SWALE, CONSTRUCTION SPECIUE:

- a. TREAT COMPACTED AREAS BY RIPPING / SUBSOILING / TILLING / SCARIFYING AS OUTLINED BELOW, PRIOR TO REPLACEMENT OF TOPSOIL AMENDMENT IN THE BMP
- b. DISTRIBUTE TOPSOIL WITH A HIGH ORGANIC CONTENT BACK WITHIN VEGETATED SWALES. ON-SITE TOPSOIL WITH A CONTENT OF AT LEAST 5 PERCENT CAN BE PROPERLY STOCKPILED AND USED. STABILIZED BMP PER PLAN SPECIFICATIONS AND DETAILS.
- c. STABILIZE BMP PER PLAN SPECIFICATION AND DETAILS

3. TREATING COMPACTION BY RIPPING / SUBSOILING / TILLING / SCARIFICATION CONSTRUCTION SPECIUE:

- a. SUBSOILING IS ONLY EFFECTIVE WHEN PERFORMED ON DRY SOILS.
- b. RIPPING, SUBSOILING, OR SCARIFICATION OF THE SUBSOIL SHOULD BE PERFORMED WHERE SUBSOIL HAS BECOME COMPACTED BY EQUIPMENT OPERATION, DRIED OUT AND CRUSTED, OR WHERE NECESSARY TO OBLITERATE EROSION RILLS.
- c. RIPPING (SUBSOILING) SHOULD BE PERFORMED USING A SOLID-SHANK RIPPER AND TO A DEPTH OF 20 INCHES, (8 INCHES FOR NONR COMPACTION).
- d. SHOULD BE PERFORMED BEFORE TOPSOIL AMENDMENT IS PLACED AND AFTER ANY EXCAVATION OF COMPLETED.
- e. SUBSOILING SHOULD NOT BE PERFORMED WITH COMMON TILLAGE TOOLS SUCH AS A DISK OR CHisel PLOW BECAUSE THEY ARE TOO SHALLOW AND CAN COMPACT THE SOIL JUST BENEATH THE TILLAGE DEPTH.

**TABLE 4.2: COMPOST STANDARDS
(FROM PA DEP E&S CONTROL MANUAL)**

ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% - 50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM

PERMANENT STABILIZATION CONSTRUCTION NOTES

1. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

3. ALL TOPSOIL SHALL BE REPLACED AT A DEPTH OF AT LEAST 6" IN ORDER TO PROMOTE STORMWATER INFILTRATION AND PERMANENT VEGETATIVE STABILIZATION ON ALL DISTURBED AREAS TO BE PERMANENTLY REVEGETATED.

3. ALL TOPSOIL SHALL BE LOOSENED TO A DEPTH OF AT LEAST 4". ALL OBJECTIONABLE MATERIAL LARGER THAN 2" SHALL BE REMOVED.

4. CONTRACTOR SHALL PROVIDE SOIL TESTING PH BEFORE IMPLEMENTING PERMANENT SEEDING. LIMESTONE AND FERTILIZER SHALL BE APPLIED UNIFORMLY TO AREAS TO BE SEEDD, AND WORKED INTO THE SOIL TO A DEPTH OF 2" TO 4" IN THE PRESENCE OF SOILS TESTING. APPLY LIMESTONE AND FERTILIZER PER THE APPLICATION RATE SPECIFIED BELOW.

- A. LIMESTONE - PULV. AG., AT 6 TONS/ACRE
- B. FERTILIZER - 100 LBS/AC N, 200 LBS/AC P205, 200 LBS/AC K2O
- * BASED ON EROSION CONTROL & CONSERVATION PLANTING ON NONCROPLAND

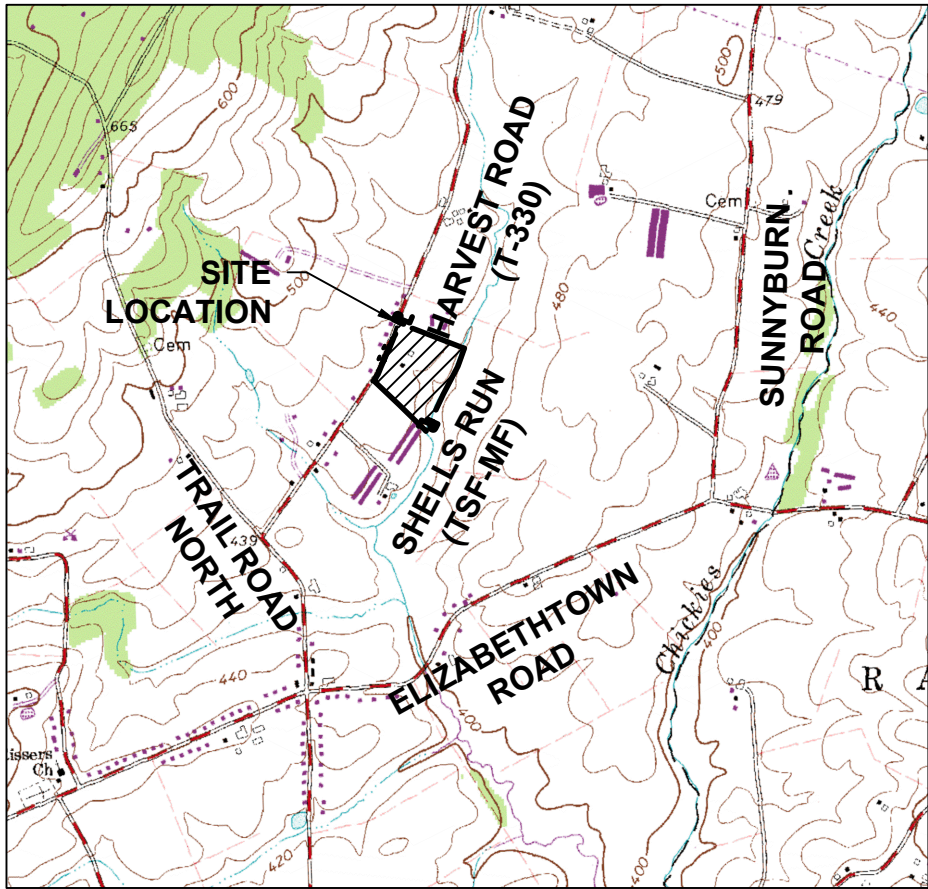
5. MULCH OF LONG STEM STRAW SHALL BE APPLIED AT AN EVEN APPLICATION OF 3 TONS/ACRE WITH A SURFACE COVERAGE OF 100%. MULCH SHALL BE EITHER MECHANICALLY STABILIZED OR STABILIZED BY USE OF A TACKIFIER.

6. HYDROSEED IS NOT CONSIDERED STABILIZATION UNTIL IT GERMINATES.

EROSION AND SEDIMENT CONTROL PLAN

FOR
ELMER BEILER
POULTRY BARN

MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

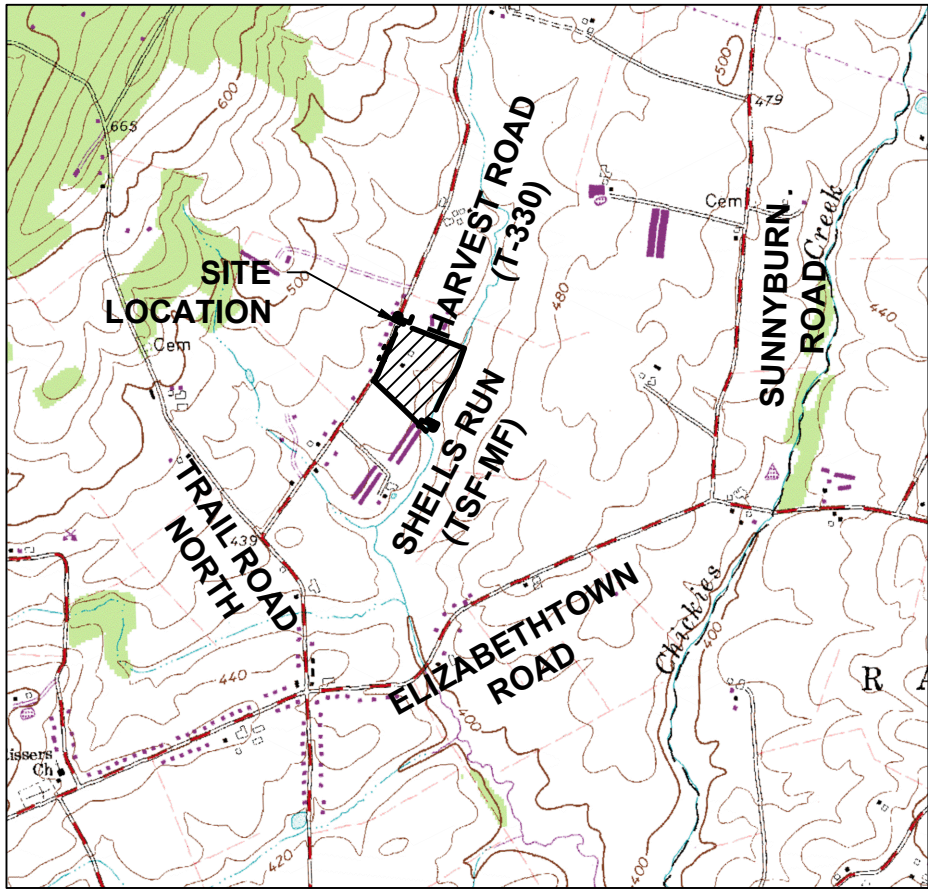


LOCATION MAP
SCALE: 1" = 2000'
(ELIZABETHTOWN, PENNSYLVANIA QUADRANGLE)

EROSION AND SEDIMENT CONTROL PLAN

FOR
ELMER BEILER
POULTRY BARN

MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA



LOCATION MAP
SCALE: 1" = 2000'
(ELIZABETHTOWN, PENNSYLVANIA QUADRANGLE)

EROSION AND SEDIMENT CONTROL NOTES

1. TOPSOIL STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2:1 OR FLATTER.
2. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
3. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
4. ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 ET SEQ. 271.1, AND 287.1 ET SEQ. BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
5. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL, OF ANY EXCESS MATERIAL AND MAKE SURE THE SITE(S) RECEIVING THE EXCESS HAS AN APPROVED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.
6. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
7. ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM PP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM PP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
8. ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH THE PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE AFFECTED THE PROPERTY OR BE AFFECTED BY A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF CLEAN FILL."

MAINTENANCE PROGRAM

1. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMPS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPS AFTER EACH RAINFALL EVENT AND AT A MINIMUM OF A REGULAR BASIS. PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RESEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
2. THE PERMITTEE AND CO-PERMITTEE MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN THE EROSION AND SEDIMENT CONTROL. ((E&S BMPs ARE CONSIDERED TO BE MAINTAINED WHEN OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION TO THE WATERS OF THE COMMONWEALTH. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:
 - (A) A SUMMARY OF THE SITE CONDITIONS, E&S BMPs, AND COMPLIANCE, AND
 - (B) THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION.
3. ANY SEDIMENT REMOVED FROM BMPS DURING CONSTRUCTION WILL BE RETURNED TO UPLAND AREAS ON SITE AND INCORPORATED INTO THE SITE GRADING.

STABILIZATION SPECIFICATIONS

1. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
2. UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES EXCEED 4 DAYS, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS DURING NON-GERMINATING PERIODS. MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
3. AN EROSION CONTROL BLANKET WILL BE INSTALLED ON ALL DISTURBED SLOPES 3:1 OR GREATER, ALL AREAS OF CONCENTRATED FLOWS, AND DISTURBED AREAS WITHIN 50' OF WATERS OF THE COMMONWEALTH.
4. PRIOR TO THE APPLICATION OF TOPSOIL SCARIFICATION OR LOOSENING OF SOIL TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL, TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE SHALL BE DONE.))

TEMPORARY STABILIZATION

1. MULCH - CLEAN OAT OR WHEAT STRAW SHALL BE FREE FROM MATURE SEED-BEARING STALKS OR ROOTS OF PROHIBITED OR NOXIOUS WEEDS AS DEFINED BY THE PENNSYLVANIA SEED ACT 1947. APPLY AT A RATE OF 3 TONS/ACRE (HAY OR STRAW). MULCH SHALL BE EITHER MECHANICALLY STABILIZED OR STABILIZED BY USE OF A FERTILIZER. FOR PROPER STABILIZATION DURING THE NON-GERMINATING PERIOD OF OCTOBER 15 TO MARCH 15, THE REQUIRED RATE IS 3 TONS PER ACRE.
2. SEED MIXTURE SHALL BEAR A GUARANTEED STATEMENT OF ANALYSIS AND SHALL BE COMPOSED OF THE VARIETIES FOLLOWING AND MIXED IN THE PROPORTIONS SPECIFIED.

SEED TYPE	% BY WT.	MIN.	PURITY	MIN. GERM.
ANNUAL RYEGRASS	100%	95%	90%	
3. THREE PERCENT REDTOP MAY BE ADDED TO THE LAWN MIXTURE ON SLOPE AREAS OR FOR LATE SPRING OR LATE FALL SEEDING.
4. TEMPORARY SEEDING SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1,000) SQUARE FEET.
5. ALL AREAS TO BE SEEDS SHALL BE LOOSENED TO A DEPTH OF AT LEAST TWO INCHES BY MECHANICAL MEANS AS APPROVED BY THE ENGINEER.
6. MULCH SEEDED AREAS IMMEDIATELY AFTER SEEDING.
7. LIMESTONE AND FERTILIZER SHALL BE APPLIED UNIFORMLY TO AREAS TO BE SEEDS, AND WORKED INTO THE SOIL TO A DEPTH OF 2". IN THE ABSENCE OF SOILS TESTING, APPLY LIMESTONE AND FERTILIZER PER THE APPLICATION RATE SPECIFIED BELOW.
 - A. LIMESTONE - PULV. AG.
 - B. LIMESTONE - 60 LBS/1000 SF.
 - C. FERTILIZER - 10-10-10 ANALYSIS COMM.
 - D. FERTILIZER - 11-15 LBS/1000 SF.

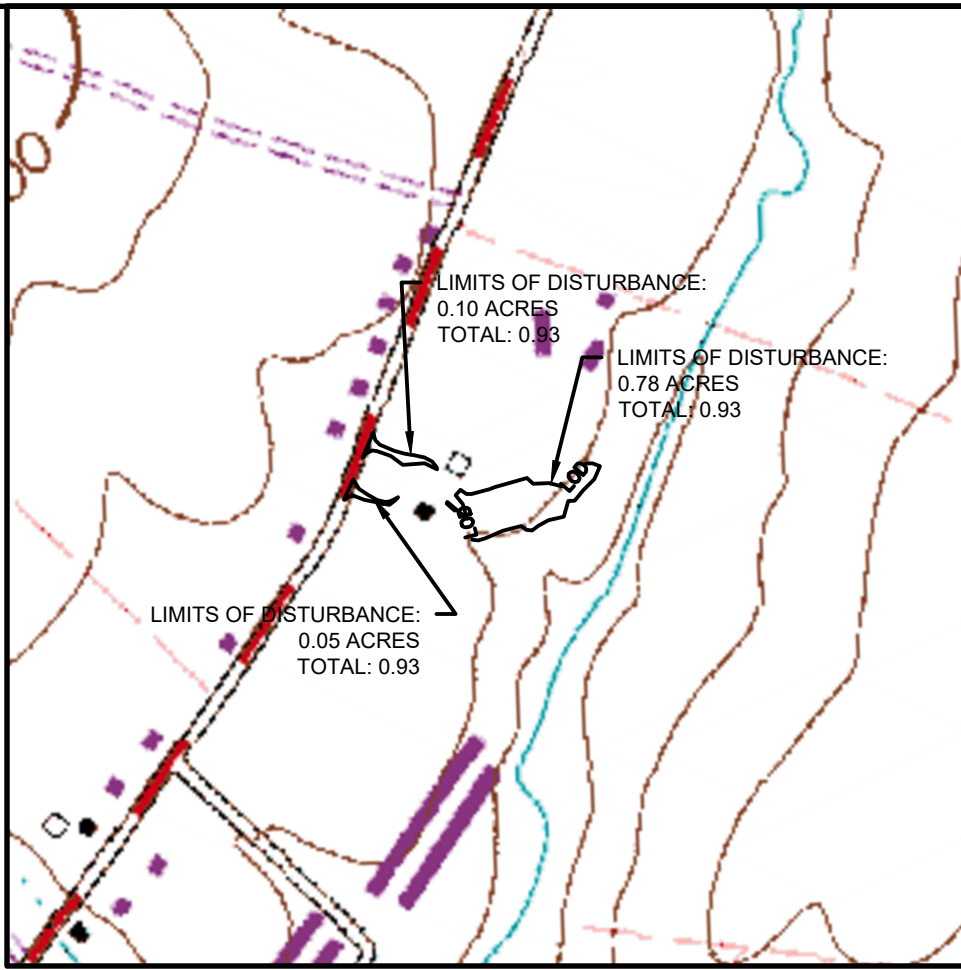
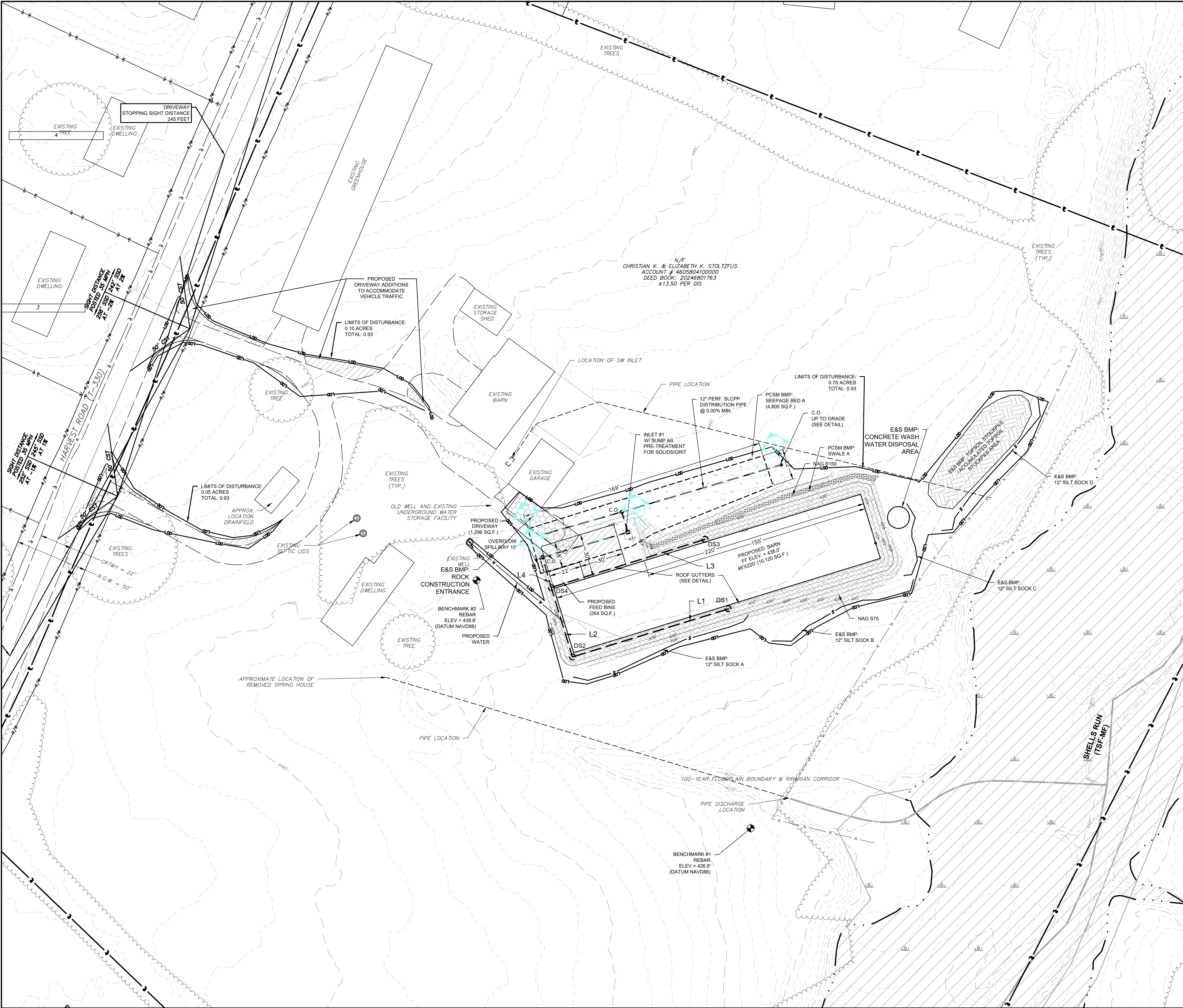
* BASED ON EROSION CONTROL & CONSERVATION PLANTING ON NONCROPLAND, RECOMMENDATIONS FOR TEMPORARY COVER, TABLE 5.

8. SEEDING - SEED ALL DISTURBED AREAS WITH THE TEMPORARY SEED MIXTURE EXCEPT THOSE AREAS SHOWN TO BE SEEDDED WITH CROWNWEED, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
9. HYDROSEED IS NOT CONSIDERED STABILIZATION UNTIL IT GERMINATES.

EXISTING FEATURES LEGEND	
	ADJOINER PROPERTY LINE
	PROPERTY LINE
	RIGHT-OF-WAY
	SETBACK LINE
	EASEMENT LINE
	MUNICIPAL BOUNDARY
	ZONING BOUNDARY
	SOIL BOUNDARY
	ROAD CENTERLINE
	EDGE OF PAVEMENT
	EDGE OF DRIVEWAY/FIELD LANE
	FENCE
	BUILDING
	CONCRETE
	CONCRETE WALL
	EDGE OF WOODS
	RAIL ROAD
	MINOR CONTOUR
	MAJOR CONTOUR
	TERRACE
	TERRACE TO BE REMOVED
	OVERHEAD ELECTRICAL LINE
	UNDERGROUND ELECTRIC LINE
	SANITARY SEWER PIPE
	STORMWATER PIPE / CULVERT
	WATER LINE
	WETLANDS BOUNDARY
	WETLANDS HATCH
	STREAM CENTERLINE
	FLOODPLAIN BOUNDARY
	FLOODPLAIN HATCH
	VEGETATED WATERWAY
	SLOPES 15% TO 25%
	SLOPES GREATER THAN 25%
	BENCHMARK
	PROPERTY MARKER
	SEPTIC STRUCTURE
	STORM RISER PIPE
	UTILITY POLE
	WELL
	SOIL TEST LOCATION
	SOIL PERCOLATION TEST LOCATION
PROPOSED FEATURES LEGEND	
	NPDES PERMIT BOUNDARY/ LIMIT OF DISTURBANCE BOUNDARY LINE
	COMPOST FILTER SOCK
	CENTERLINE
	MAJOR CONTOUR
	MINOR CONTOUR
	EASEMENT
	FENCE
	TERRACE
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE

SEAL	<p style="text-align: center;">SHEET TITLE</p> <h2 style="margin: 0;">E&S PLAN:</h2> <h3 style="margin: 0;">COVER SHEET & NOTES</h3> <p style="text-align: center; font-size: small;">SCALE: AS NOTED</p>	<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p>PROJECT TITLE</p> <p style="font-size: large; font-weight: bold; text-align: center;"><i>MINOR</i></p> <p style="font-size: x-large; font-weight: bold; text-align: center;"><i>LAND DEVELOPMENT PLAN</i></p> <p style="text-align: center;"><i>FOR</i></p> <p style="font-size: x-large; font-weight: bold; text-align: center;"><i>ELMER BEILER</i></p> <p style="font-size: x-large; font-weight: bold; text-align: center;"><i>POULTRY BARN</i></p> <p style="text-align: right; font-size: small;">MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA</p> </div> <div style="width: 50%; border-left: 1px solid black; padding-left: 10px; margin-left: 10px;"> <p>CLIENT _____</p> <p>OWNER: ELMER BEILER</p> <p>MAILING ADDRESS: 2980 HARVEST ROAD ELIZABETHTOWN, PA 17022 (717) 344 - 0151</p> <p>SITE LOCATION: 2980 HARVEST ROAD ELIZABETHTOWN, PA 17022</p> </div> </div>																			
		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">NO</th> <th style="width: 15%;">DATE</th> <th style="width: 20%;">REVISION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>8/4/25</td> <td>PER TWP COMMENT LETTER 2</td> </tr> <tr> <td>2</td> <td>TDM</td> <td>PER TWP COMMENT LETTER 1</td> </tr> <tr> <td> </td> <td>SLM</td> <td>7/1/25</td> </tr> </tbody> </table>								NO	DATE	REVISION	1	8/4/25	PER TWP COMMENT LETTER 2	2	TDM	PER TWP COMMENT LETTER 1		SLM	7/1/25
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		2	TDM	PER TWP COMMENT LETTER 1																	
	SLM	7/1/25																			

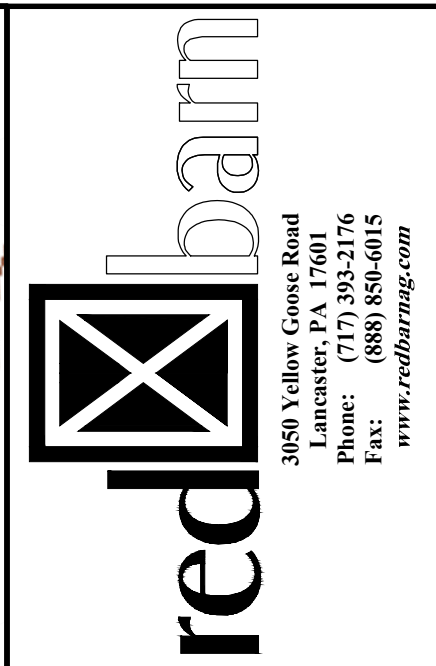
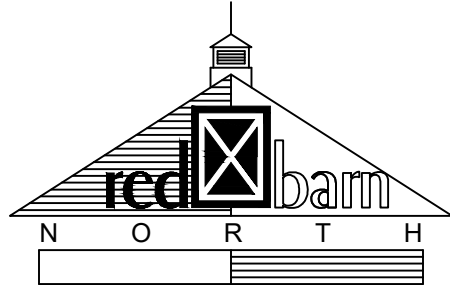
3060 Yellow Creek Road
Lancaster, PA 17601
Phone: (717) 393-2176
Fax: (888) 850-6015
www.redbarn.com



PERMIT BOUNDARY MAP
SCALE: 1" = 800'

	WATER HATCH
	WETLANDS
	VEGETATED WATERWAY
	CONCRETE
	GRAVEL
	RIP-RAP
	TOPSOIL AMENDMENT/ AVOID SOIL COMPACTION
	TEMPORARY/PERMANENT SEEDING
	RE-VEGETATED CROPLAND
	TOPSOIL STOCKPILE
	NAG S75 EROSION CONTROL BLANKET
	NAG S150 EROSION CONTROL BLANKET
	NAG P300 EROSION CONTROL BLANKET
	ROCK CONSTRUCTION ENTRANCE

FLOODPLAIN INFORMATION
THE 100-YEAR FLOOD PLAIN IS TAKEN FROM FEMA FIRM (FLOOD INSURANCE RATE MAP), COMMUNITY-PANEL 42071C0109F (04/05/2016)



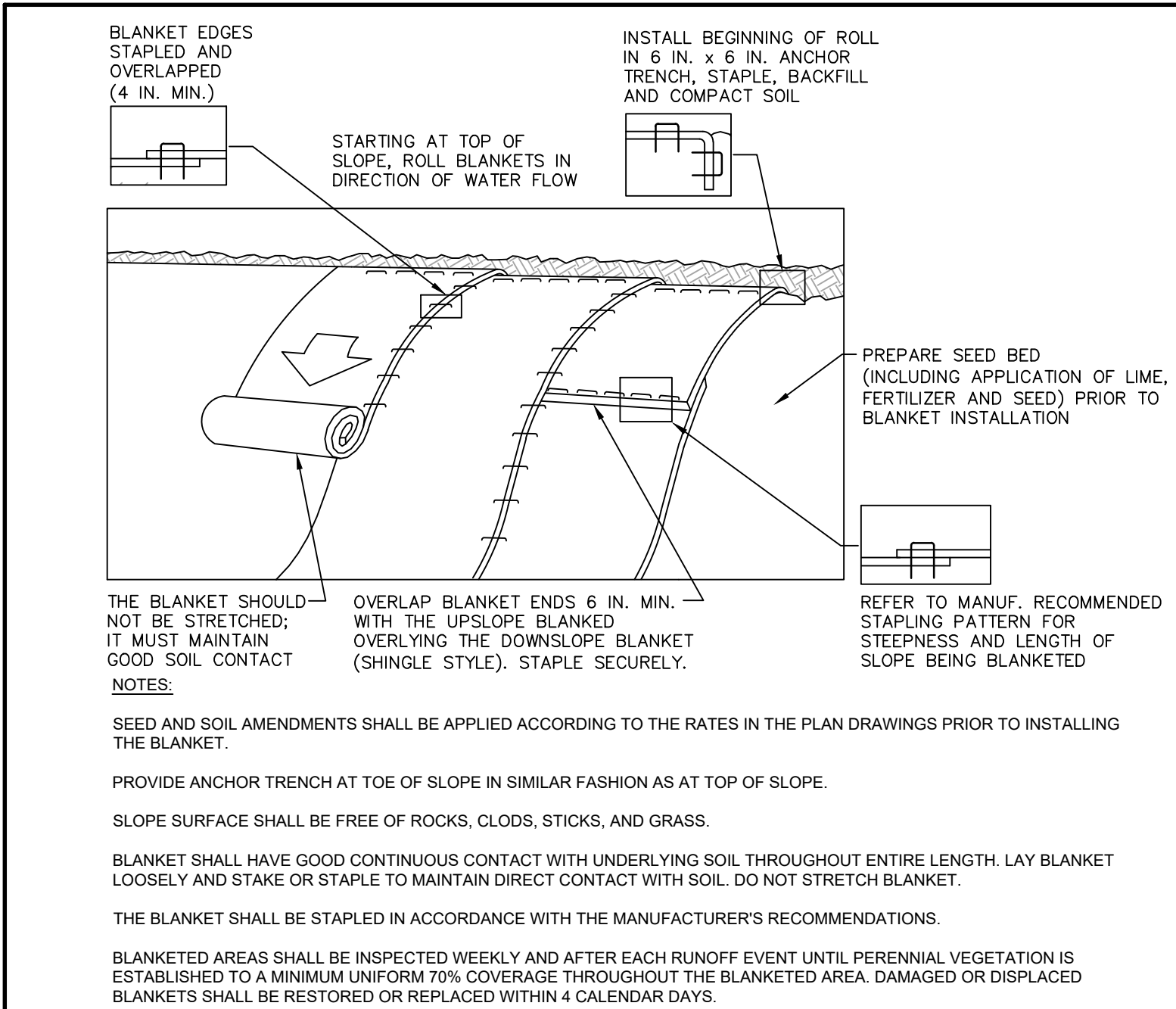
NO	BY	DATE	REVISION
1	SLM	7/7/25	PER W/P COMMENT LETTER 1
2	TDW	8/4/25	PER W/P COMMENT LETTER 2

CLIENT
ELMER BEILER
MAILING ADDRESS:
2980 HARVEST ROAD
ELIZABETHTOWN, PA 17022
(717) 344 - 0151
SITE LOCATION:
2980 HARVEST ROAD
ELIZABETHTOWN, PA 17022

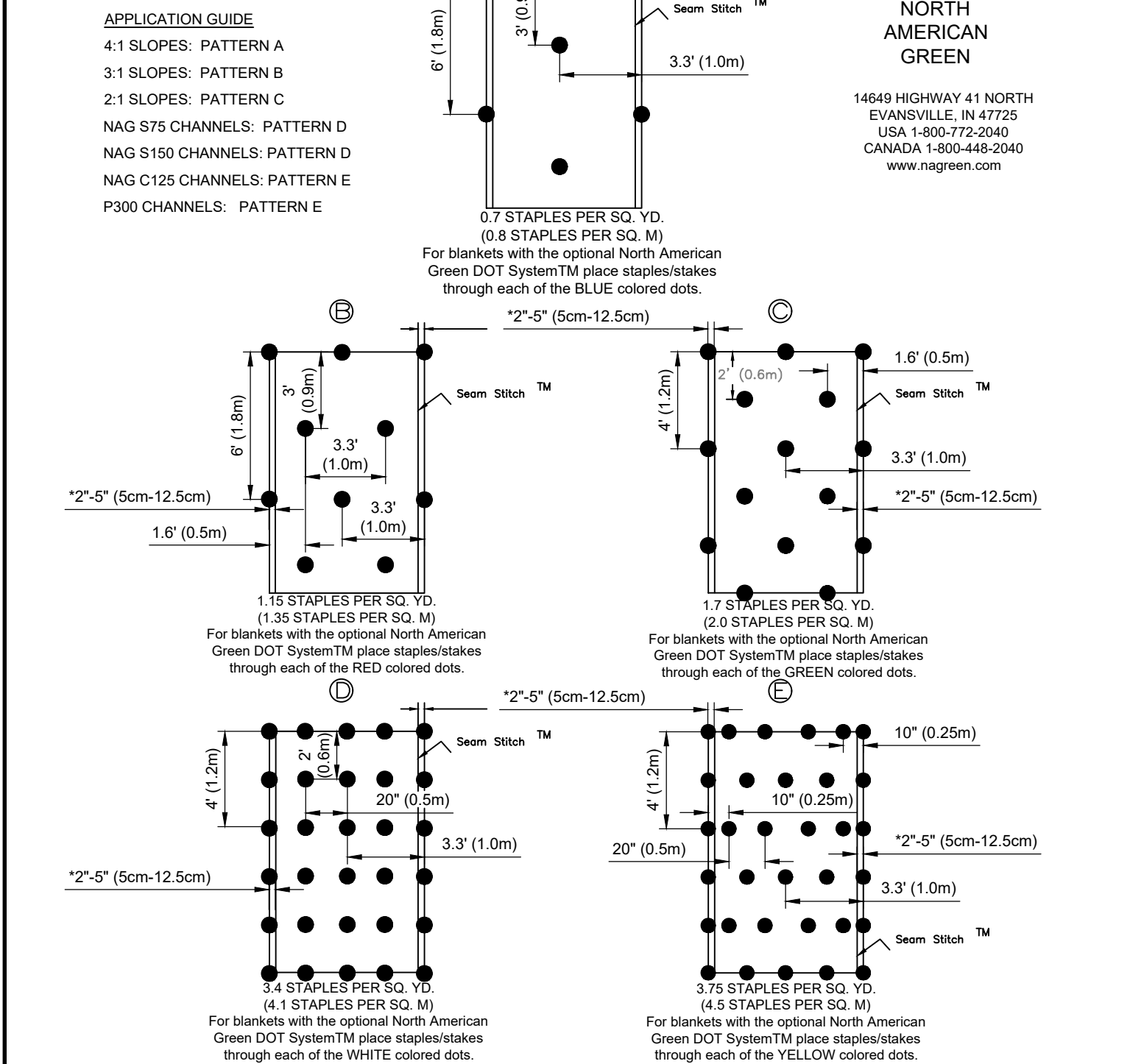
PROJECT TITLE
MINOR
LAND DEVELOPMENT PLAN
FOR
ELMER BEILER
POULTRY BARN
MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

SHEET TITLE
E&S PLAN:
CONTROL GRADING PLAN
SCALE: 1" = 30'

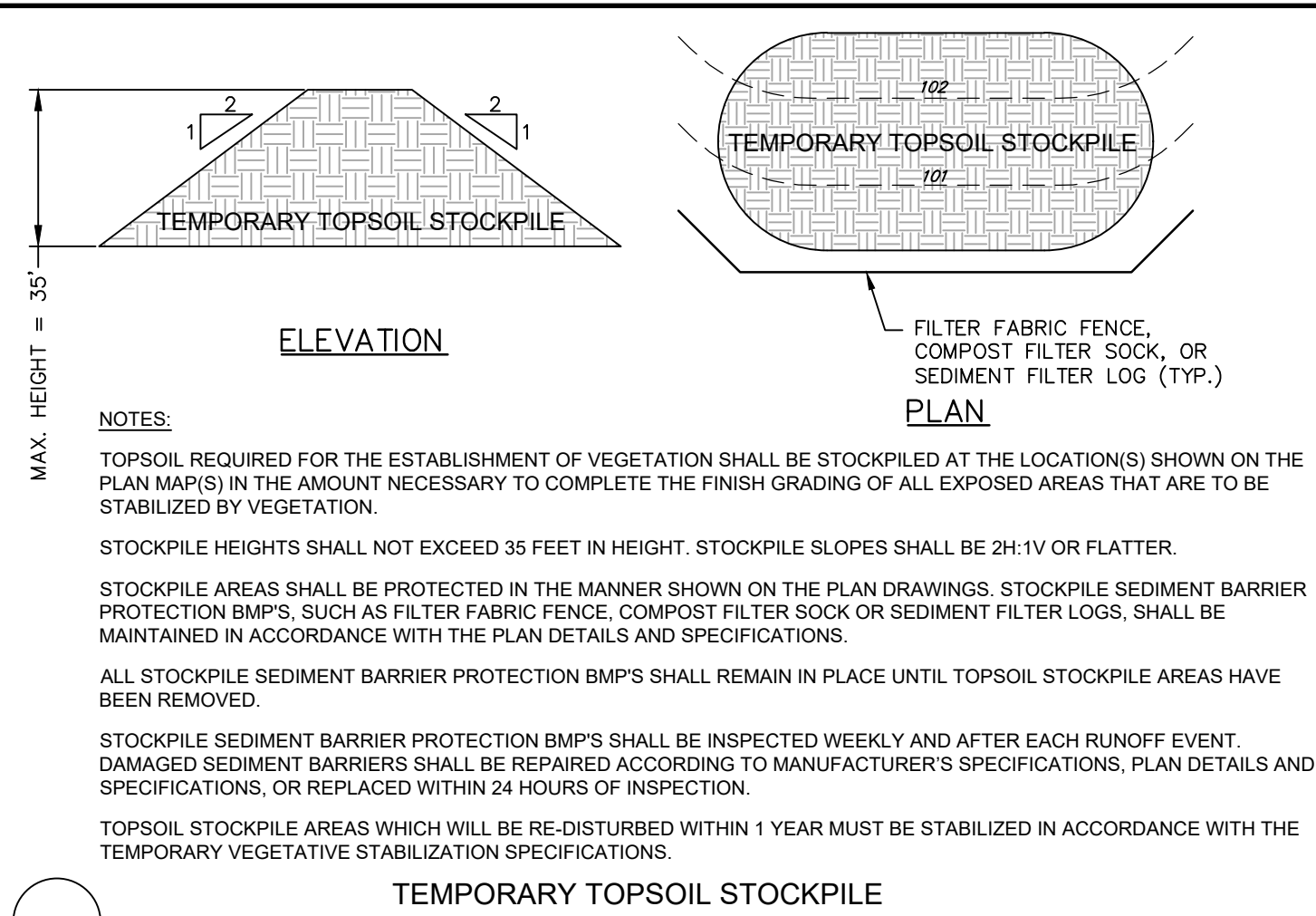
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	PROJECT NO.: 20250527	
	SHEET: 11 OF 14	
	SHEET NO.: 302	



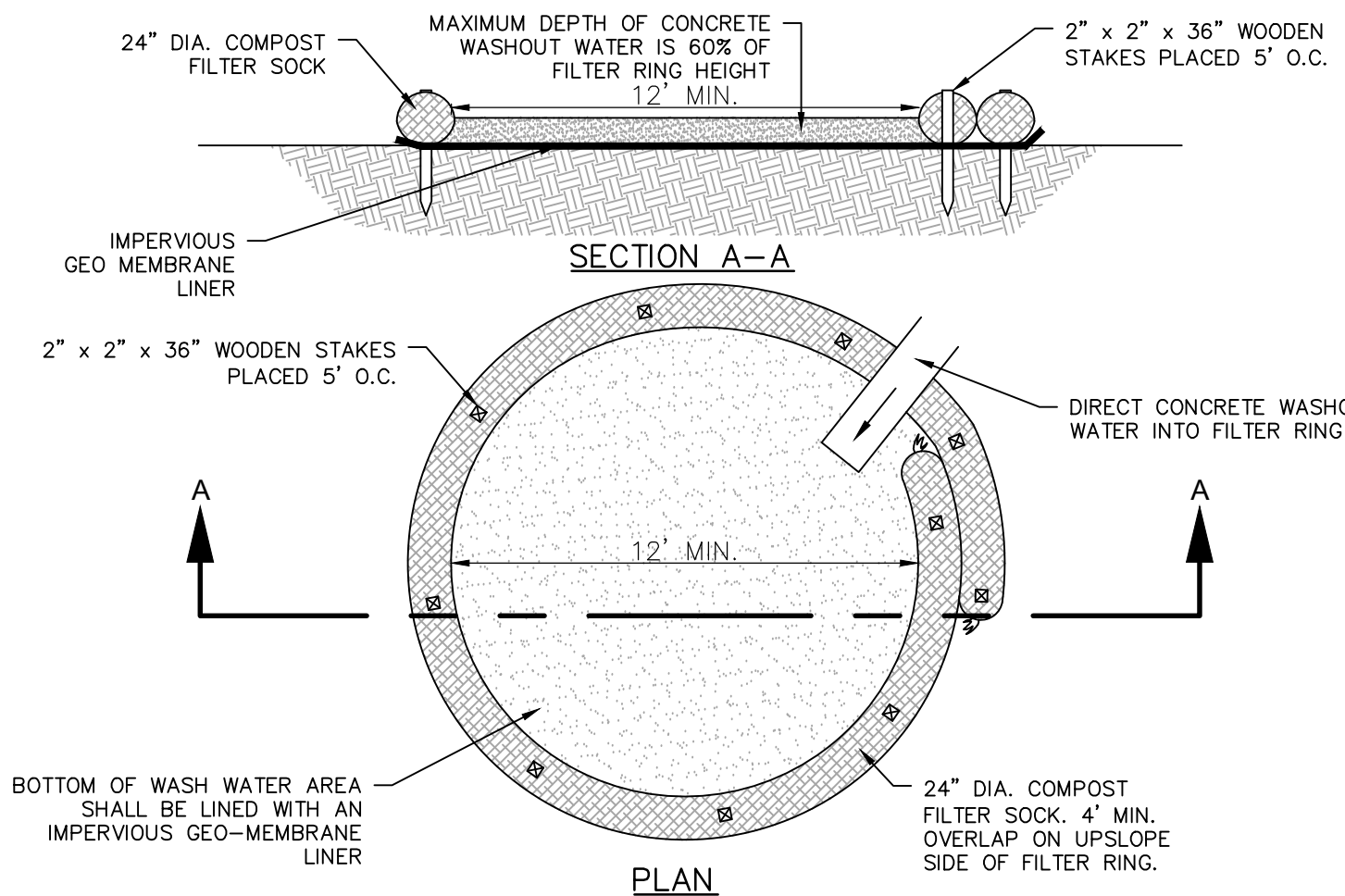
EROSION CONTROL BLANKET INSTALLATION
STANDARD CONSTRUCTION DETAIL #11-1
NOT TO SCALE



STAPLE PATTERN GUIDE
NOT TO SCALE

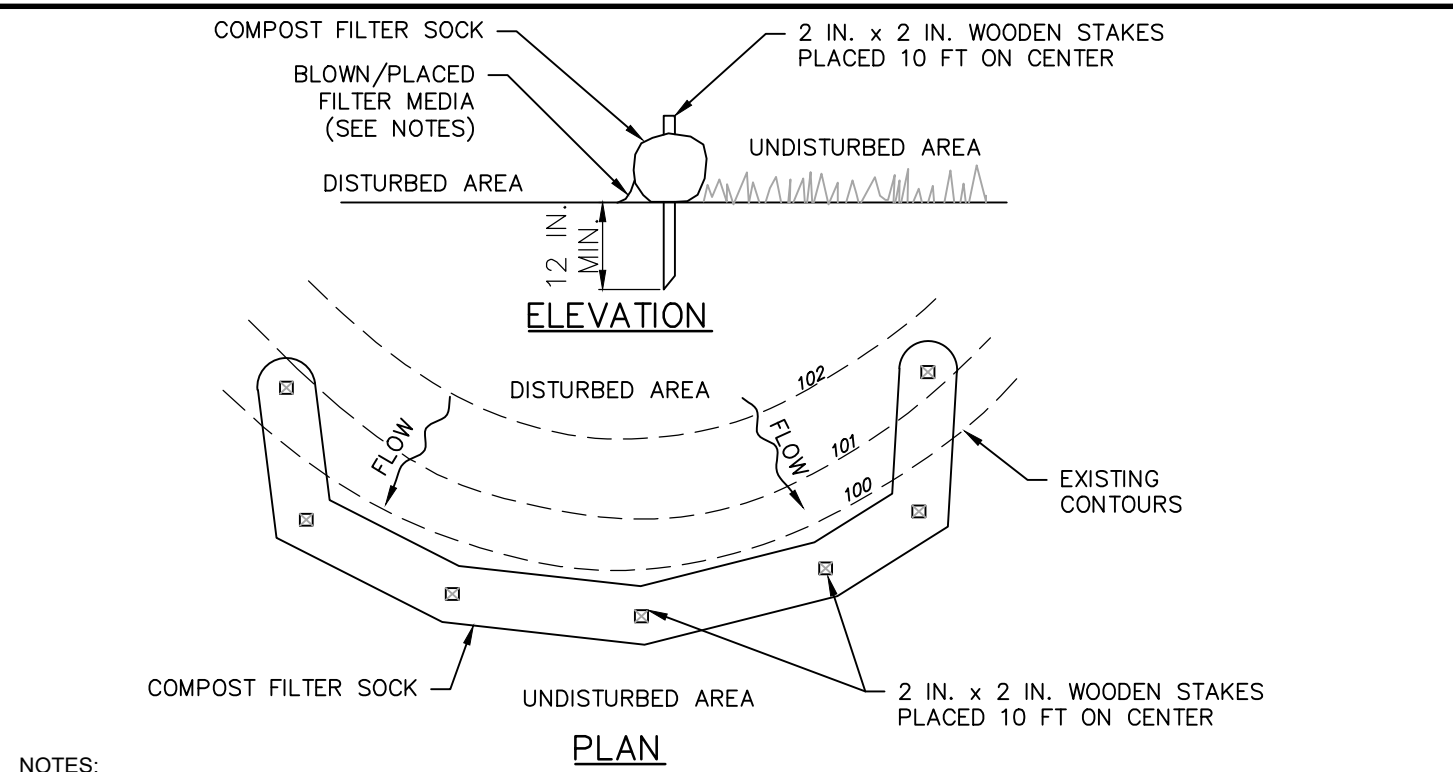


TEMPORARY TOPSOIL STOCKPILE
NOT TO SCALE



NOTE:
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
3. CONCRETE WASH WATER SHALL NOT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUND WATER SYSTEMS.
4. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.
5. DISPOSAL AREA SHALL BE ADEQUATELY SIZED PER CONTRACTOR ACCORDING TO ACCOMMODATE THE ESTIMATE OF VOLUME NEEDS FOR EACH CONCRETE POUR.
MAINTENANCE NOTES:
INSPECT FILTER SOCK AND GEOMEMBRANE FOR DAMAGE FROM CONSTRUCTION ACTIVITIES PRIOR TO EACH CONCRETE POUR. ANY DAMAGE MUST BE ADEQUATELY REMEDIATED TO ENSURE NO WASH WATER ENTERS SURFACE WATERS OR GROUND WATER.
DISPOSE OF WASTE MATERIAL IN BETWEEN POURS. MATERIAL SHALL BE HAULED TO APPROVED RECYCLING/DISPOSAL LOCATIONS OFF SITE.

FILTER SOCK CONCRETE WASH WATER DISPOSAL AREA
NOT TO SCALE

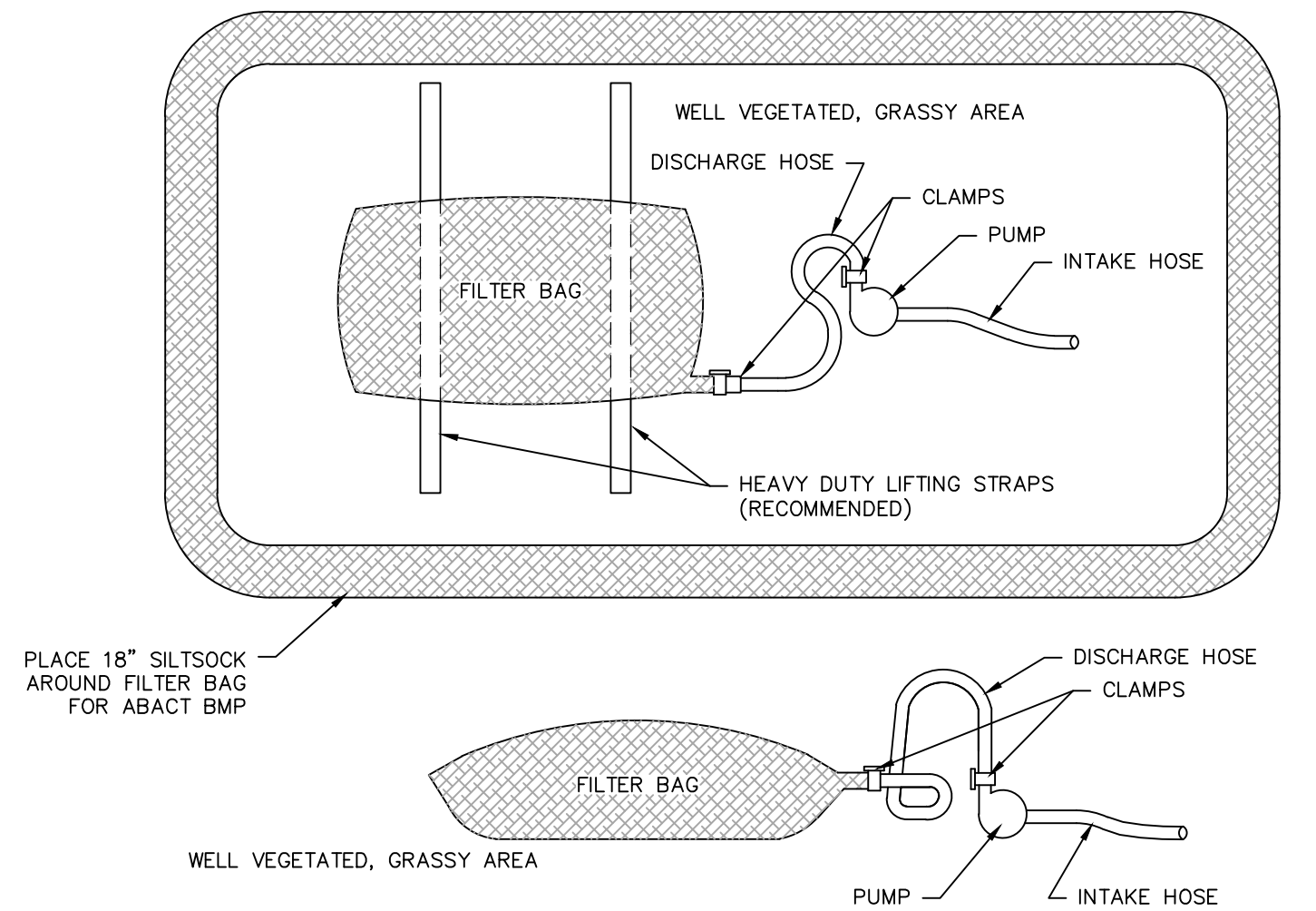


COMPOST FILTER SOCK-ABACT
STANDARD CONSTRUCTION DETAIL #4-1
NOT TO SCALE

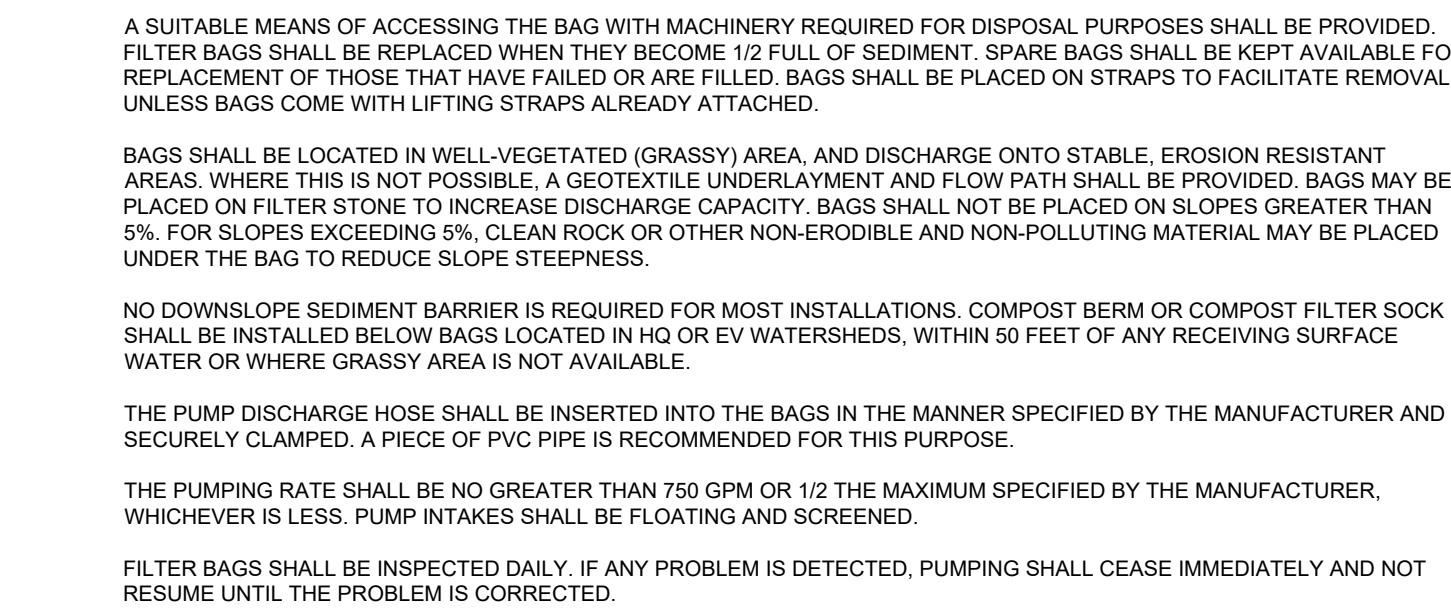
TABLE 4.1 COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS					
MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPP)
MATERIAL CHARACTERISTICS	PHOTO - DEGRADABLE	PHOTO - DEGRADABLE	BIO - DEGRADABLE	PHOTO - DEGRADABLE	PHOTO - DEGRADABLE
SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.		100% AT 1000 HR.	100% AT 1000 HR.
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS
TWO-PLY SYSTEMS					
INNER CONTAINMENT NETTING	HDPE BIAXIAL NET				
	CONTINUOUSLY WOUND				
	FUSION WELDED JUNCTURES				
	3/4" X 3/4" MAX. APERTURE SIZE				
OUTER FILTRATION MESH	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)				
	3/16" MAX. APERTURE SIZE				
SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.					

TABLE 4.2: COMPOST STANDARDS	
ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS & ELONGATED
pH	5.5 - 8.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAX

COMPOST FILTER SOCK-ABACT
STANDARD CONSTRUCTION DETAIL #4-1
NOT TO SCALE



PUMPED WATER FILTER BAG-ABACT
STANDARD CONSTRUCTION DETAIL #3-16
NOT TO SCALE



ROCK CONSTRUCTION ENTRANCE-ABACT
STANDARD CONSTRUCTION DETAIL #3-1
NOT TO SCALE

3850 Yellow Grove Road
Lancaster, PA 17601
Phone: (717) 393-2176
Fax: (888) 858-6015
www.redbarn.com

CLIENT

ELMER BEILER

MAILING ADDRESS:

2980 HARVEST ROAD

ELIZABETHTOWN, PA 17022

(717) 344 - 0151

SITE LOCATION:

2980 HARVEST ROAD

ELIZABETHTOWN, PA 17022

PROJECT TITLE

MINOR

LAND DEVELOPMENT PLAN

FOR

ELMER BEILER

POULTRY BARN

MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

SHEET TITLE

E&S PLAN:

CONTROL DETAILS 1

SCALE: AS NOTED

SEAL

DRAWN BY: TDW

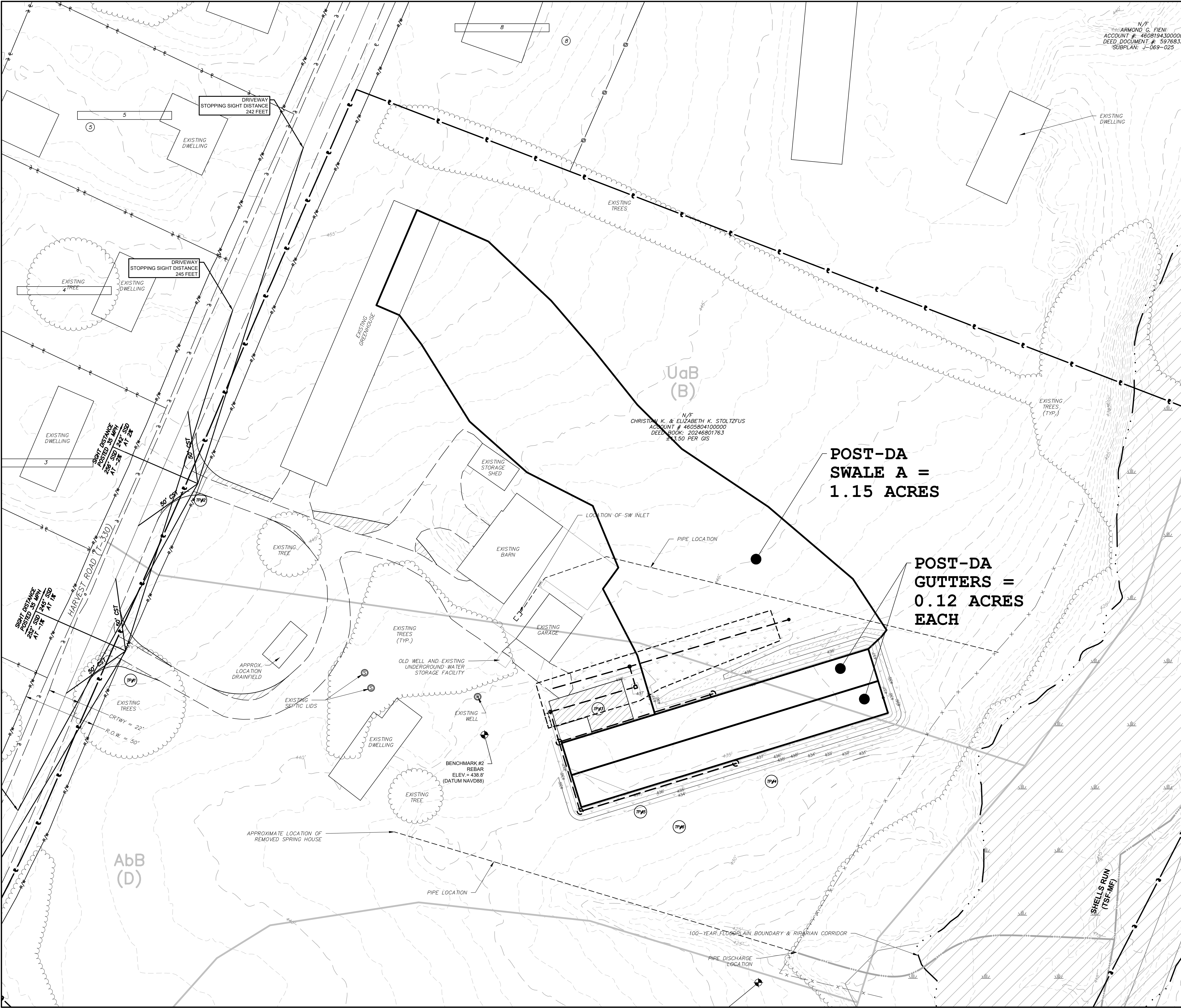
CHECKED BY: MHH

DATE: 05/27/2025

PROJECT NO: 20250527

SHEET: 10 OF 14

SHEET NO.: 303



FLOODPLAIN INFORMATION			
THE 100-YEAR FLOOD PLAIN IS TAKEN FROM FEMA FIRM (FLOOD INSURANCE RATE MAP), COMMUNITY-PANEL 42071C0109F (04/05/2016)			
SOILS INFORMATION			
(PER SOILS SURVEY OF LANCASTER COUNTY, PENNSYLVANIA)			
MAP SYMBOL	SOIL NAME	HYDROLOGIC SOIL GROUP	Kf FACTOR
AbB	ABBOTTSTOWN SILT LOAM, 3-8% SLOPES LIMITATIONS: CUTBANKS CAVE, CORROSIVE TO CONCRETE / STEEL, EASILY ERODIBLE, DEPTH TO SATURATED ZONE / SEASONAL HIGH WATER TABLE, HYDRIC INCLUSIONS, LOW STRENGTH / LANDSLIDE PRONE, SLOW PERCOLATION, PIPING, POOR SOURCE OF TOPSOIL, FROST ACTION, WETNESS.	D	0.32
BuB	BUCKS SILT LOAM, 3-8% SLOPES LIMITATIONS: CUTBANKS CAVE, CORROSIVE TO CONCRETE, LOW STRENGTH / LANDSLIDE PRONE, SLOW PERCOLATION, PIPING, POOR SOURCE OF TOPSOIL, FROST ACTION, SHRINK - SWELL.	B	0.37
Rd	ROWLAND SILT LOAM, LIMITATIONS: CUTBANKS CAVE, EASILY ERODIBLE, FLOODING, DEPTH TO SATURATED ZONE / SEASONAL HIGH WATER TABLE, HYDRIC/HYDRIC INCLUSIONS, LOW STRENGTH / LANDSLIDE PRONE, SLOW PERCOLATION, PIPING, POOR SOURCE OF TOPSOIL, FROST ACTION, WETNESS.	C	0.43
UaB	UNGERS LOAM, 3-8% SLOPES LIMITATIONS: CUTBANKS CAVE, CORROSIVE TO CONCRETE, EASILY ERODIBLE, LOW STRENGTH / LANDSLIDE PRONE, SLOW PERCOLATION, FROST ACTION.	B	0.37

SOILS LIMITATIONS AND RESOLUTIONS

CUTBACK CAVE: SOIL CUT SLOPES SHALL BE GRADED AT A MINIMUM OF 3:1. ALL TRENCHING SHALL BE DONE PER OSHA GUIDELINES.

DROUGHTY: PERMANENT STABILIZATION SHALL BE COMPLETED DURING THE GROWING SEASON. CARE SHALL BE TAKEN TO ENSURE ADEQUATE MOISTURE IS AVAILABLE FOR SEED GERMINATION.

EASILY ERODIBLE: EROSION WILL BE MINIMIZED BY ESTABLISHMENT OF VEGETATION WITH A MINIMUM 6" OF TOPSOIL, PROPER COMPACTION OF SUBSOILS WHERE REQUIRED, AND THE INSTALLATION OF MATTING PER PLAN DETAILS AND SPECIFICATIONS. SOIL SLOPES SHALL BE GRADED AT A MINIMUM OF 3:1.

HYDRIC INCLUSIONS: THE SITE HAS BEEN INVESTIGATED AND NO DISTURBANCE WITH PROPOSED WITHIN ANY WETLANDS AREA. THE SITE IS LOCATED IN AN AREA THAT HAS BEEN CULTIVATED FOR THE LAST FIVE YEARS. SITE SPECIFIC TESTING WAS DONE TO ENSURE BMP'S WERE PROPERLY PLACED.

SLOW PERCOLATION: PERC TESTING WAS COMPLETED WITH A DOUBLE RING INFILTRMETER TO ENSURE ADEQUATE PERCOLATION WITHIN THE INFILTRATION BMP'S.

PIPING: PIPING WILL BE AVOIDED WITH PROPER COMPACTION AND ESTABLISHMENT OF VEGETATION.

POOR TOPSOIL: TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR LATER UTILIZATION OF PERMANENT STABILIZATION. THE TOPSOIL WILL BE AMENDED IN THE BMP AREAS.

DEPTH TO SATURATION: SITE SPECIFIC TESTING WAS DONE TO ENSURE INFILTRATION BMP'S MAINTAINED THE RECOMMEND SEPARATION DISTANCE.

LOW STRENGTH / LANDSLIDE PRONE: PROPER SITE COMPACTION AND PERMANENT SITE STABILIZATION PER PLAN DETAILS AND SPECIFICATIONS WILL MITIGATE THIS CONFLICT. SOIL SLOPES SHALL BE GRADED AT A MINIMUM OF 3:1.

FROST ACTION: COMMENCING COMPLETING THE SITE WORK PRIOR TO INCLIMATE WEATHER MITIGATES THIS CONCERN. PROPER FOOTING DEPTH, DRAINAGE, AND COVER WILL AID IN THE REDUCTION OF THIS POTENTIAL.

SHRINK-SWELL: ESTABLISHMENT OF PERMANENT VEGETATION AND PROPER COMPACTION ALONG WITH PROPER INSTALLATION OF THE CONVEYANCE SYSTEM PER PLAN DETAILS AND SPECIFICATIONS WILL REDUCE THE POTENTIAL.

SINKHOLES: THE SITE WAS INVESTIGATED FOR SINKHOLE POTENTIAL. THE RECOMMENDED DEEP LOADING RATIOS ARE MAINTAINED TO MITIGATE THIS POTENTIAL.

FLOODING / PONDING / WETNESS: THE SITE IS GRADED FOR PROPER DRAINAGE. SITE SPECIFIC TESTING WAS DONE IN THE AREAS OF THE BMP'S TO AVOID NEGATIVE IMPACTS.

SOIL TESTING						
INFILTRATION TRENCHES, SEEPAGE BEDS A & B						
TEST LOCATION	EXISTING GRADE (ELEV. (FEET))	SCM BOTTOM (ELEV. (FEET))	INFILTRATION TEST DEPTH (ELEV. (FEET))	CUT (INCHES)	PROBE DEPTH (ELEV. (FEET))	CUT (INCHES)
TP#1	445.00	443.00	443.00	24	441.00	48
TP#2	448.00	446	446	24	444	48
TP#3	436.00	433.50	433.50	30	431.50	54
TP#4	432.00	429	429	36	427	60
TP#5	434.00	429	432	24	427	84
TP#6	432.50	429	429.50	36	427.50	60

DRAINAGE AREA LEGEND

→ FLOW PATH
— TERRACE
▨ PRE-DEVELOPMENT DRAINAGE AREA
▨ PRE-DEVELOPMENT TIME OF CONCENTRATION LINE
▨ POST-DEVELOPMENT DRAINAGE AREA
▨ POST-DEVELOPMENT TIME OF CONCENTRATION LINE
▨ CONVEYANCE DRAINAGE AREA
▨ SEDIMENT BASIN/TRAP DRAINAGE AREA
— SOIL TYPE BOUNDARY LINE
HaB (c) SOIL TYPE MAP SYMBOL (HYDROLOGIC SOIL GROUP)

TP# SOIL TEST PIT LOCATION
P-1A SOIL PERCOLATION TEST LOCATION

3850 Yellow Grove Road
Lancaster, PA 17601
Phone: (717) 393-2176
Fax: (888) 850-4015
www.redbarnpa.com

CLIENT

ELMER BEILER
MAILING ADDRESS:
2980 HARVEST ROAD
ELIZABETHTOWN, PA 17022
(717) 344 - 0151

DATE

8/4/25
7/7/25

REVISION

1. SUBMITTAL PER TWP COMMENT LETTER 1
2. TOWNSHIP PER TWP COMMENT LETTER 2

PROJECT TITLE

MINOR
LAND DEVELOPMENT PLAN
FOR
ELMER BEILER
POULTRY BARN

SHEET TITLE

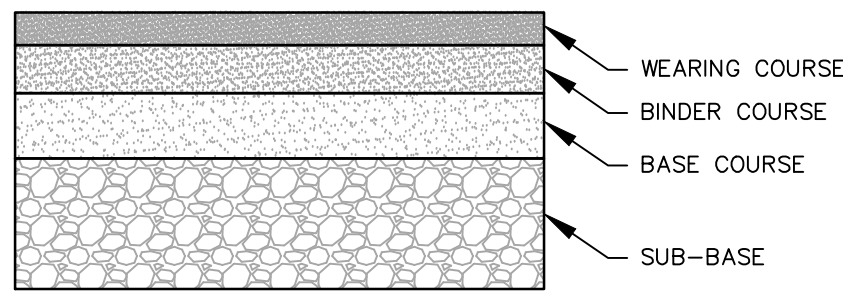
E&S PLAN:
SOILS & DRAINAGE AREA PLAN

SCALE: 1" = 30'

0' 30' 60' 90'

SEAL

DRAWN BY: TDW
CHECKED BY: MHH
DATE: 05/27/2025
PROJECT NO.: 20250527
SHEET: 13 OF 14
SHEET NO.: 304



SECTION

WEARING COURSE: SUPERPAVE ASPHALT MIXTURE DESIGN, HMA WEARING COURSE, PG 64S-22, 0.0 <0.3 MILLION ESAL'S, 9.5MM MIX, SRL-L, 1.5" DEPTH;

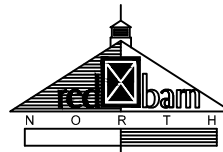
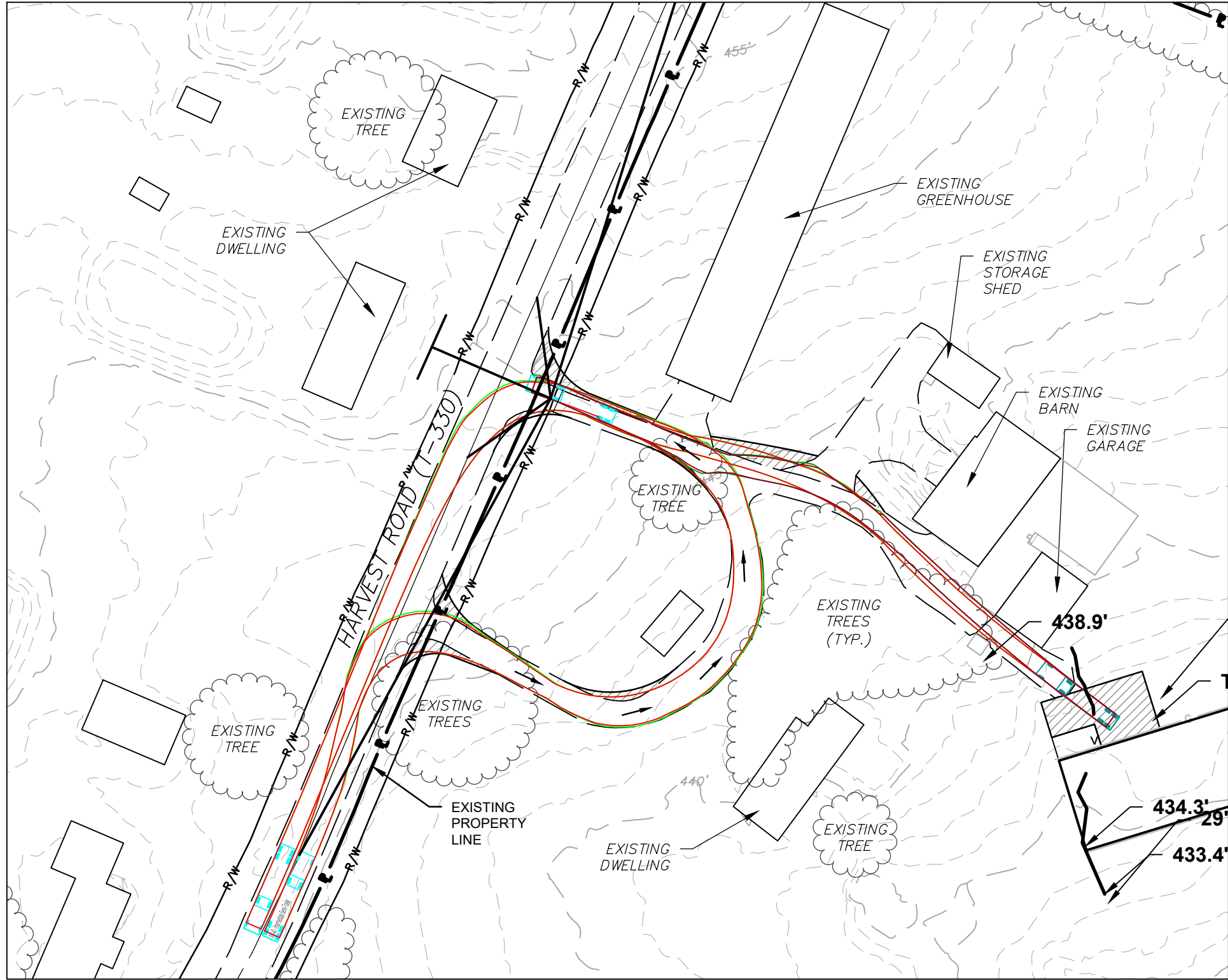
BINDER COURSE: SUPERPAVE ASPHALT MIXTURE DESIGN, HMA BINDER COURSE, PG 64S-22, 0.0 <0.3 MILLION ESAL'S, 19MM MIX, 3" DEPTH;

BASE COURSE: SUPERPAVE ASPHALT MIXTURE DESIGN, HMA BASE COURSE, PG 64S-22, 0.0 <0.3 MILLION ESAL'S, 19MM MIX, 3" DEPTH;

SUB-BASE: MODIFIED 2A AGGREGATE, 8" COMPACTED DEPTH

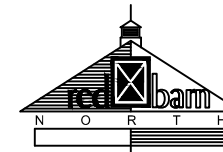
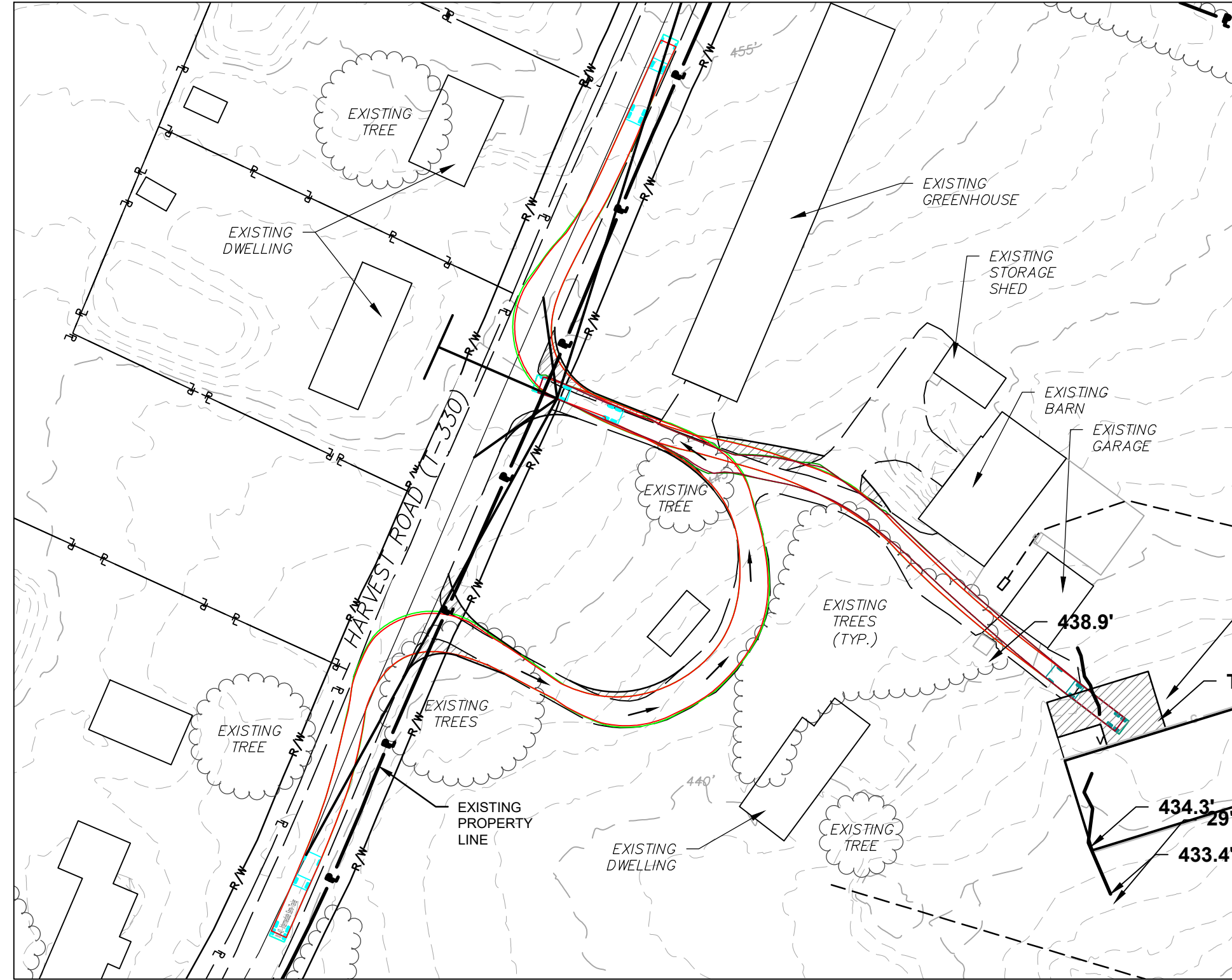
ASPHALT DRIVEWAY/LOADING AREA DETAIL

NOT TO SCALE



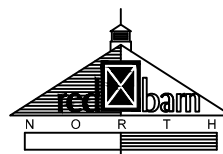
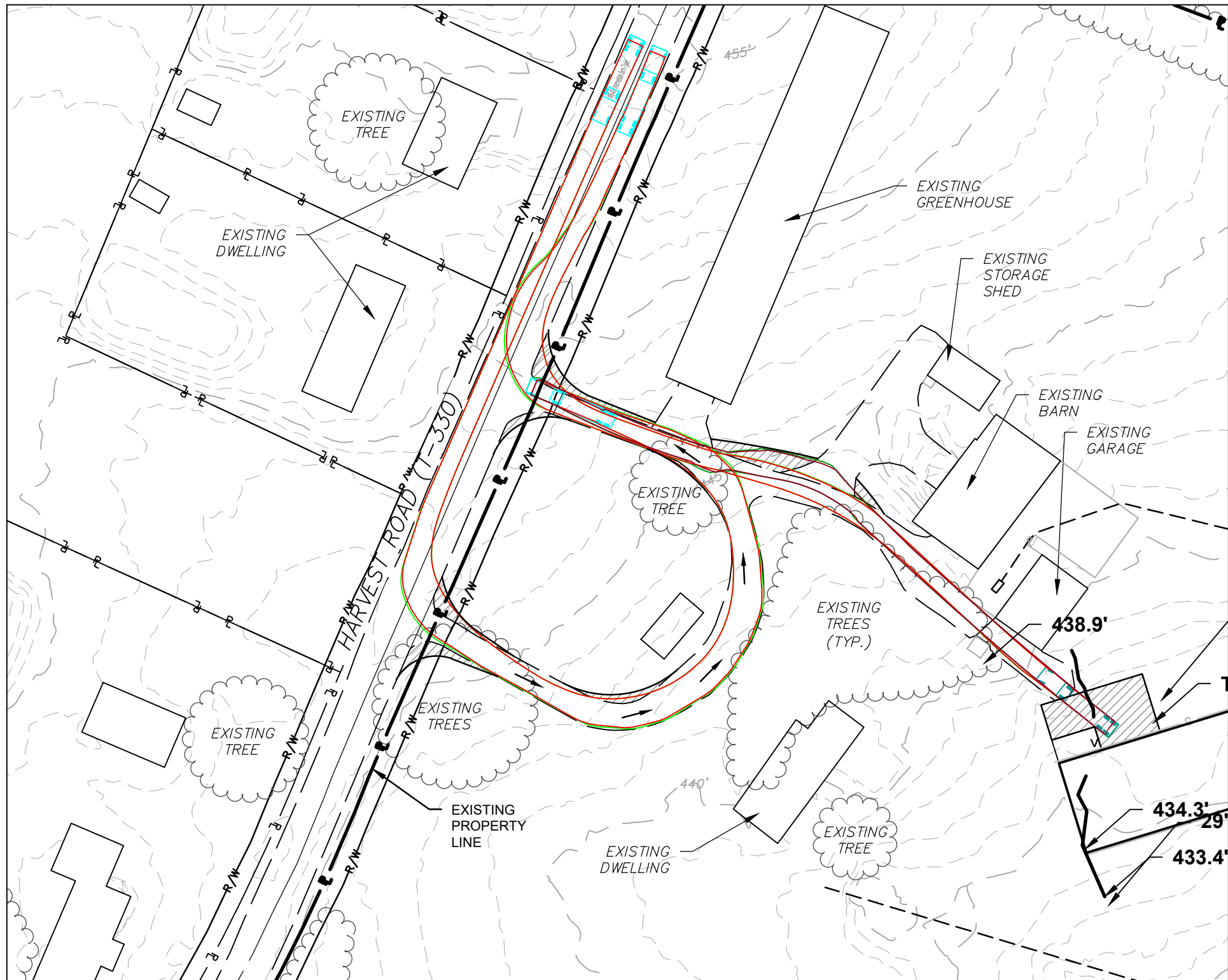
TRUCK TURNING TEMPLATE:
COMING IN FROM SOUTH - LEFT OUT
WB-40 TRUCK MOVEMENT

SCALE: 1" = 60'



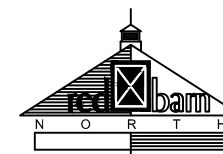
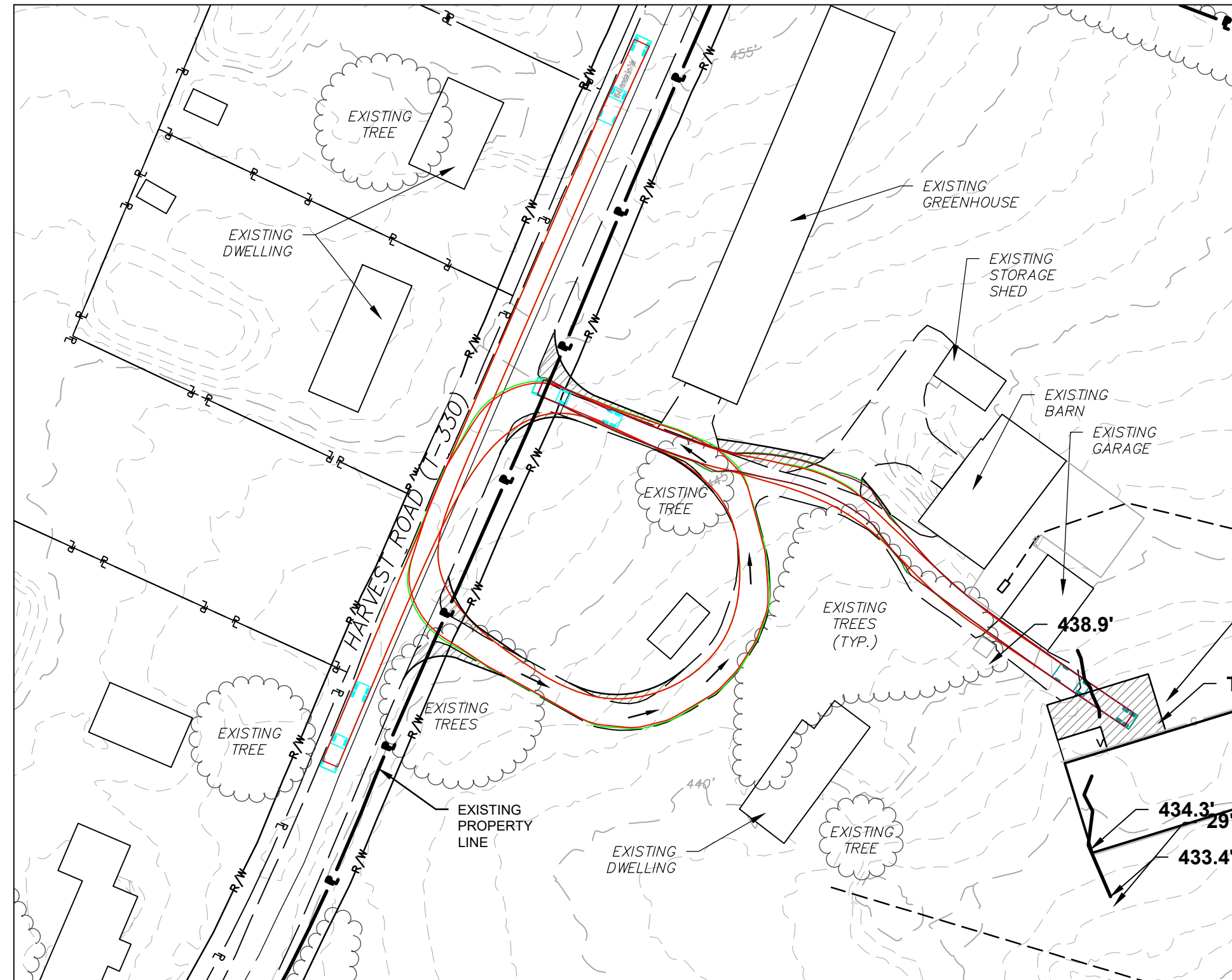
TRUCK TURNING TEMPLATE:
COMING IN FROM SOUTH - RIGHT OUT
WB-40 TRUCK MOVEMENT

SCALE: 1" = 60'



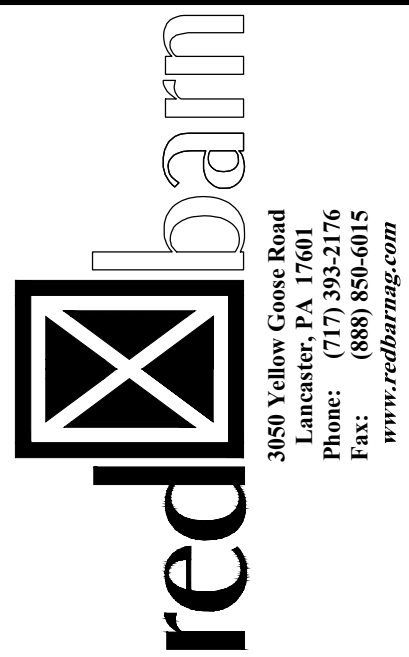
TRUCK TURNING TEMPLATE:
COMING IN FROM NORTH - RIGHT OUT
WB-40 TRUCK MOVEMENT

SCALE: 1" = 60'



TRUCK TURNING TEMPLATE:
COMING IN FROM NORTH - LEFT OUT
WB-40 TRUCK MOVEMENT

SCALE: 1" = 60'



NO	BY	DATE	REVISION
2	TDW	8/4/25	PER TWP COMMENT LETTER 2
1	SLM	7/7/25	PER TWP COMMENT LETTER 1

CLIENT
ELMER BEILER
MAILING ADDRESS:
2980 HARVEST ROAD
ELIZABETHTOWN, PA 17022
(717) 344 - 0151

SITE LOCATION:
2980 HARVEST ROAD
ELIZABETHTOWN, PA 17022

PROJECT TITLE
**MINOR
LAND DEVELOPMENT PLAN
FOR
ELMER BEILER
POULTRY BARN**

MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

SHEET TITLE
**TRUCK ACCESS
TRUCK MOVEMENT PLAN**

SCALE: AS NOTED

SEAL	DRAWN BY: TDW	CHECKED BY: MHH
	DATE: 05/27/2025	
	PROJECT NO.: 20250527	
	SHEET: 14 OF 14	
	SHEET NO.: 401	

ANTHONY P. SCHIMANECK
JOSELE CLEARY
ROBERT E. SISCO
JASON M. HESS

LAW OFFICES
MORGAN, HALLGREN, CROSSWELL & KANE, P.C.

P. O. BOX 4686
LANCASTER, PENNSYLVANIA 17604-4686

WWW.MHCK.COM

FAX (717) 299-6170

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(1971 - 2021)

RETIRED
CARL R. HALLGREN
MICHAEL P. KANE

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717-299-5251

1536 W MAIN STREET
EPHRATA, PA 17522
717-733-2313

659 E WILLOW STREET
ELIZABETHTOWN, PA 17022
717-361-8524

OF COUNSEL
WILLIAM C. CROSSWELL
RANDALL K. MILLER

July 12, 2025

VIA EMAIL

Kimberly Kaufman, Township Manager
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Re: Minor Land Development Plan for Elmer Beiler Poultry Barn
Our File No. 10221-1

Dear Kim:

I received the revised submission of the Minor Land Development Plan for Elmer Beiler Poultry Barn (the "Plan"). The name of the Plan was changed to respond to a comment by the Township Engineer. I previously prepared a Storm Water Management Agreement and Declaration of Easement and an Agreement Providing for Grant of Conservation Easement relating to the riparian buffer. I have updated those two documents to reflect the change in the name of the Plan, and I attach the revised documents. These drafts may be distinguished from the prior drafts by the draft date in the upper left-hand corner of the first page of each document.

The Storm Water Management Agreement requires an exhibit. Timothy Ward of Red Barn Consulting, Inc., forwarded the necessary exhibit to me. I have not attached it to the Storm Water Management Agreement but will do so after the document is fully executed and acknowledged and returned to me.


As requested, I have prepared the required developer's letter-agreement for the Plan, and I attach it for your review. The letter-agreement has instructions for completion at the end. When the cost estimate is approved, it must be attached as Exhibit A.

By copy of this letter I am providing these documents to Mr. Ward. He should have the documents which are to be recorded, i.e. the Storm Water Management Agreement and the Agreement Providing for Grant of Conservation Easement, signed by Christian K. Stoltzfus and Elizabeth K. Stoltzfus, the record owners of the Property. Elmer Beiler, the applicant, should sign the developer's letter-agreement. When this is done, he should deliver the original documents to the Township office. After they are fully executed and acknowledged, please return the Storm

Kimberly Kaufman, Township Manager
July 12, 2025
Page 2

Water Management Agreement and the Agreement Providing for Grant of Conservation Easement to me for recording.

Very truly yours,



Josele Cleary

JC:sle
MUNI\10221-1(7)\250710\71

Attachments

cc: Patricia J. Bailey, Township Secretary (via email; with attachments)
Joseph Price, Community Development Director/Zoning Officer (via email; with attachments)
Benjamin S. Craddock, P.E. (via email; with attachments)
Timothy Ward, EIT (via email; with attachments)

August 18, 2025

Kim Kaufman
Township Manager
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Via email: kkaufman@mtjoytwp.org

Re: 2980 Harvest Road (Elmer Beiler)
Minor Land Development Plan
Township Permit No. 25-08-MLDP
LCEC Project No: 25-197



LANCASTER CIVIL
★ ★ engineering company ★ ★
p.o. box 8972, lancaster, pa 17604-8972
www.lancastercivil.com

Dear Mr. Kaufman,

We have received a minor land development plan submission from Red Barn Consulting, Inc. for the above-referenced project. The submission consisted of the following documents:

- Comment response letter dated August 4, 2025
- Minor Final Land Development Plan revised June 1, 2025
- Post-Construction Stormwater Management Report revised August 4, 2025
- Opinion of Probable Cost revised August 6, 2025

Based upon my review of the submitted information, I offer the following comments for the Township to consider:

Zoning Ordinance

1. Prior to the construction of an agricultural use, the landowner shall provide evidence from the Conservation District that a Conservation and Nutrient Management Plan is being implemented (135-212.D(1),(2),&(3)).
2. The applicant shall enter into a recordable agreement with the Township providing for the permanent maintenance of the riparian corridor, in a form acceptable to the Township Solicitor (135-306.F).

Subdivision and Land Development Ordinance

3. A preliminary plan is required (119-25). The applicant has requested a modification of this requirement.

Modification response: The applicant proposes to process this as a final plan which includes both preliminary and final plan requirements. This project is not phased and the proposed improvements are relatively simple in scope. Based on these considerations, I have no objection to this modification.

4. The plans shall be signed and sealed by a registered engineer, surveyor or landscape architect (119-31.A(5)).

5. The location and material of all permanent monuments and lot line markers shall be shown on the plans (119-31.D(14)(a) & 119-57.D). The applicant has requested a waiver of this requirement.

Waiver response: There is no proposed subdivision or proposed right-of-way as part of the project and there are no areas being dedicated to the Township. The subject parcel is greater than 10 acres. Therefore, the ordinance allows the parcel to be deed plotted instead of plotted by survey. Based on these considerations, I have no objections to a waiver of this requirement.

6. A wetlands study shall be provided (119-32.B & 119-34.E(3)(c)).
7. Written notice shall be provided from the DEP that approval of the sewer planning module has been granted or notice from the Department that such approval is not required (119-35.E(2)(a) & 119-60.A).
8. Written notices from the fire service provider that will serve as the primary responders for the land development shall be submitted indicating that the building layout is satisfactory and will not present any obstacles or other problems for emergency responders to the land development (119-35.E.(2)(h)). In addition, the designer shall provide written notice (i.e. emails, memo, etc.) received from MESA and Northwest Regional Police as indicated in the Emergency Responders Notes on the Cover Sheet.
9. A Stormwater Management Agreement and Declaration of Easement in a form acceptable to the Township Solicitor shall be executed and recorded (119-35.E(4)(c), 119-56.E & 113-62).
10. A land development agreement in a form acceptable to the Township Solicitor shall be executed (119-35.E(4)(f)).
11. All certificates shall be executed prior to final plan approval (119-37.D).
12. Financial security in the amount of \$55,146.10 shall be provided prior to final plan approval (113-60).
13. Three monuments shall be spaced around the proposed project, with at least two of the monuments places as consecutive corners along the street right-of-way (119-57.B). The applicant has requested a waiver of this requirement.

Waiver response: There is no proposed subdivision or proposed right-of-way as part of the project and there are no areas being dedicated to the Township. The subject parcel is greater than 10 acres. Therefore, the ordinance allows the parcel to be deed plotted instead of plotted by survey. Based on these considerations, I have no objections to a waiver of this requirement.

14. Lot line markers shall be set at all points where lot lines intersection curves, at all angles in property lines, at the intersection of all other property lines and at the street right-of-way (119-57.D). The applicant has requested a waiver of this requirement.

Waiver response: There is no proposed subdivision or proposed right-of-way as part of the project and there are no areas being dedicated to the Township. The subject parcel is greater than 10 acres. Therefore, the ordinance allows the parcel to be deed plotted instead of plotted by survey. Based on these considerations, I have no objections to a waiver of this requirement.

15. Any action taken on waiver requests, dates, and any conditions of approval shall be added to the cover sheet (119-91.C).

Stormwater Management Ordinance

16. The landowner shall execute the final documents prior to final plan approval (113-41.B).

17. An operation and maintenance (O&M) agreement shall be provided and recorded with the final plan (113-62).

If you should have any questions or need additional information, please do not hesitate to contact me at bencraddock@lanastercivil.com or via telephone at 717-799-8599.

Sincerely,



Benjamin S. Craddock, PE, President

LANCASTER CIVIL

cc: Justin Evans, Assistant Zoning Officer (via email)
Patricia Bailey, Township Secretary / Assistant Zoning Officer (via email)
Josele Cleary, Esquire, Township Solicitor (via email)
Tim Ward, EIT, Red Barn Consulting, Inc. (via email)
Molly Hughes, PE, Red Barn Consulting, Inc. (via email)
Keith Hunnings, Township SEO (via email)

**PROPOSED MOTION FOR THE MINOR LAND DEVELOPMENT PLAN
FOR ELMER BEILER POULTRY BARN
M.J.T.P.C. File # 25-08-MLDP**

I move that the Township Planning Commission grant waivers of Chapter 119 of the Code of Ordinances of the Township of Mount Joy, i.e. the Mount Joy Township Subdivision and Land Development Ordinance as follows:

- a) §119-25 – Preliminary Plan
- b) §119-31.D(14)(a) & §119-57.D – Monuments & Lot Line Markers
- c) §119-57.B - Monuments
- d) §119-57.D – Lot Line Markers

And having granted such waivers, grant approval of the Minor Land Development Plan for Elmer Beiler Poultry Barn (the “Plan”) prepared by Red Barn Ag, Drawing No. 20250527, dated May 27, 2025, subject to the following conditions:

1. Applicant shall provide comments on the proposed project from the Mastersonville Fire Department.
2. Applicant shall apply for and obtain all necessary permits prior to commencing any construction activities.
3. Applicant shall reimburse the Township for all reasonable engineering and legal fees incurred in the review of plans under the Subdivision and Land Development Ordinance, Storm Water Management Ordinance, and other governing ordinances; review or preparation of documentation required in connection with the development; review and approval of financial security and other documentation; inspection of improvements; and for other costs as set forth in these Conditions within 30 days after receipt of an invoice for such fees. If Applicant fails to pay such costs within 30 days after the date of a written invoice for such costs, Applicant shall be in violation of this Condition.

[8/22/2025]

**ACCEPTANCE OF CONDITIONS UPON APPROVAL OF A
MINOR LAND DEVELOPMENT PLAN
IMPOSED BY THE PLANNING COMMISSION OF MOUNT JOY TOWNSHIP
FOR**

**ELMER BEILER POULTRY BARN
M.J.T.P.C. File # 25-08-MLDP**

I have reviewed the conditions imposed by the Planning Commission of Mount Joy Township, Lancaster County, Pennsylvania, at the meeting on August 25, 2025, upon the approval of the Minor Land Development Plan for Elmer Beiler Poultry Barn (the "Plan") prepared by Red Barn Ag, Drawing No. 20250527, dated May 27, 2025. In my capacity as developer/developer's agent and being authorized to do so, and intending to be legally bound, I hereby accept the imposition of the conditions attached hereto as part of the approval of the above-described subdivision and/or land development project. I expressly waive any requirements of the Pennsylvania Municipalities Planning Code that the Township provide a section number of a governing ordinance, statute or regulation upon which such conditions are based and a description of the requirements which have not been met. To the extent that any condition is not based upon a specific requirement of a governing ordinance, statute or regulation, I expressly waive any right which I may have to challenge the imposition of such condition. If signing as developer's agent, I expressly state that I have been authorized by developer to agree to the conditions imposed upon the approval of the above-described subdivision and/or land development application.

Date: _____

Signature

Printed Name

Title